



# FAIRFAX COUNTY

## POTENTIAL HOLLIN HILLS HISTORIC OVERLAY DISTRICT

### STAFF RESEARCH & ANALYSIS (Hollin Hills Historic Overlay District Study Report)

Concurrent with a Zoning Ordinance Amendment,  
Plan Amendment 2018-IV-MV4 and  
Rezoning RZ 2021-MV-00017

**February 2, 2022**

Authorization: January 25, 2022  
Planning Commission: February 23, 2022, at 7:30 p.m.  
Board of Supervisors: March 8, 2022, at 4:00 p.m.

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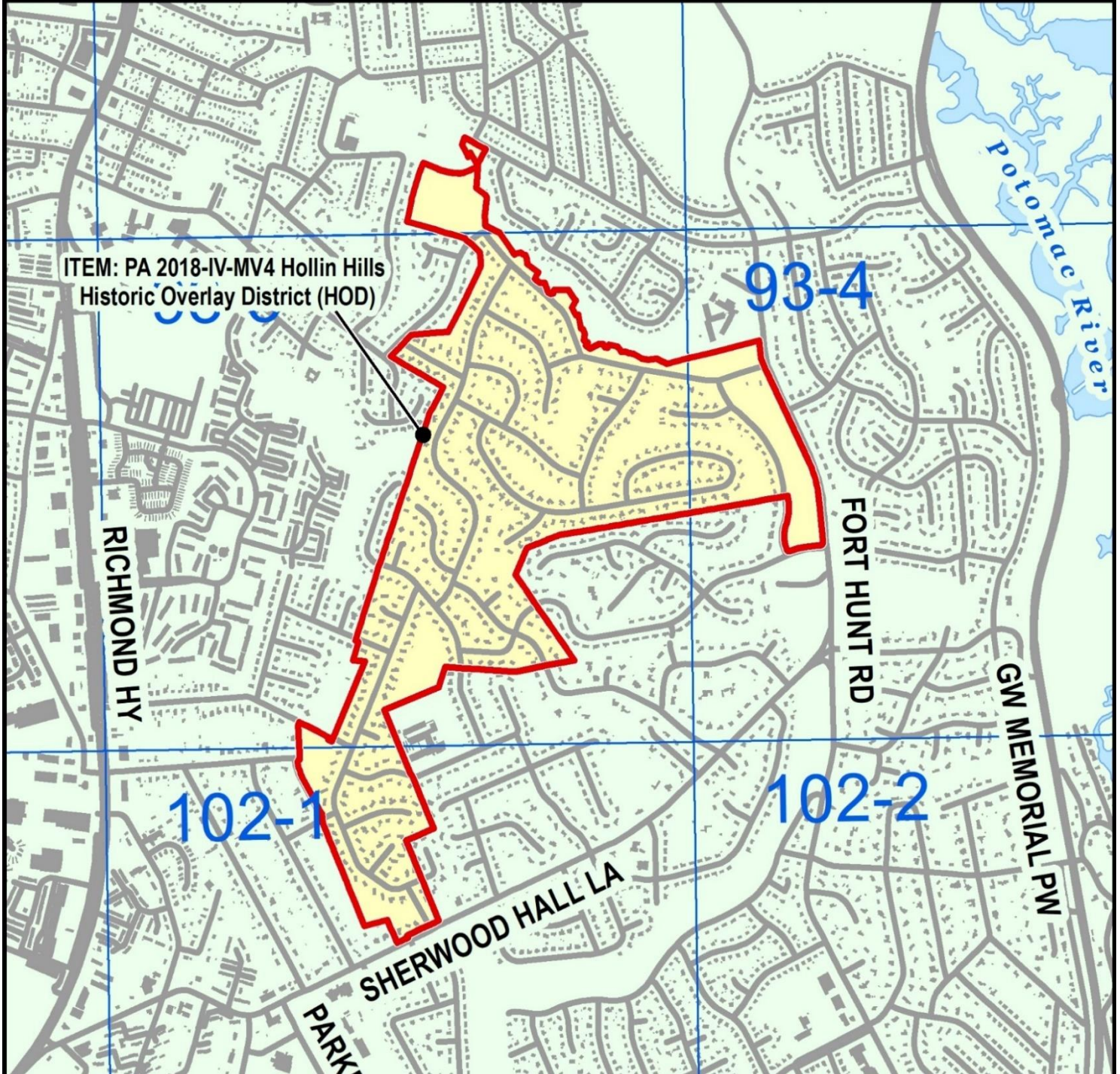
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**Proposed Hollin Hills Historic Overlay District (HOD)**  
**ITEM: PA 2018-IV-MV4**



1500 FEET

PREPARED BY THE DEPARTMENT OF PLANNING AND DEVELOPMENT USING FAIRFAX COUNTY GIS  
PARCEL INFORMATION CURRENT TO APRIL 2021  
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Figure 1- Boundary of the Proposed Hollin Hills HOD



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# I. Introduction

## A. Background

On July 31, 2018, the Board of Supervisors (Board) authorized staff to consider the possible establishment of a historic overlay district (HOD) for the Hollin Hills neighborhood, located in the Alexandria portion of Fairfax County (Attachment 1). The potential Hollin Hills HOD consists of 492 parcels located within Tax Map Grids 93-1, 93-3, 93-4 and 102-1 in the Mount Vernon District and is generally bounded by Fort Hunt Road to the east, Paul Spring Stream Valley to the north and Sherwood Hall Lane to the south (Figure 1). The 2018 Board authorization directed staff to analyze the potential significance of the neighborhood, propose language for a Zoning Ordinance Amendment, propose language for a Comprehensive Plan Amendment (PA2018-IV-MV4), and analyze a rezoning to establish the historic overlay district boundary on the zoning map (RZ 2021-MV-00017). The Hollin Hills neighborhood was listed in the County Inventory of Historic Sites on September 12, 1972, and listed in the National Register of Historic Places on July 24, 2013.

On January 25, 2022, the Board approved a resolution to initiate and authorize advertisement of public hearings for amendments to the Comprehensive Plan and Zoning Ordinance text and map (including a rezoning) to establish a Hollin Hills Historic Overlay District (Attachment 2).

The Zoning Ordinance Amendment report includes proposed text to create the Hollin Hills HOD and associated regulations (Attachment 3). The proposed amendments to the Comprehensive Plan include proposed text and figure modifications to reference the potential Hollin Hills HOD (Attachment 4). The rezoning RZ 2021-MV-00017 staff report analyzes the inclusion of the proposed HOD boundary on the zoning map (Attachment 5).

## B. Zoning Ordinance Provisions for Historic Overlay Districts and the Architectural Review Board

The Zoning Ordinance contains the HOD regulations in [Section 3101](#) and the powers and duties of the Architectural Review Board (ARB) in [subsection 8103.4](#) (Attachment 6). County HODs are created to promote the general welfare of the public through the identification, preservation, and enhancement of areas that contain historic, cultural, architectural, or archaeological significance. HOD regulations protect against destruction of or encroachment on historic sites and encourage uses that lead to their continuance, conservation, and improvement.

The ARB is comprised of Board-appointed historic preservation professionals. The ARB's responsibilities include hearing and deciding applications for building and sign permits in HODs; advising the Board in the preservation of historically, architecturally, culturally, or



archaeologically significant sites and buildings (within or outside of HODs); and reviewing and making recommendations on proposed site plans, subdivision, and rezoning applications for properties within a HOD. In July 2021, the Zoning Ordinance was amended to provide additional duties to the ARB for approval of subdivision plans in limited circumstances.

### C. Staff Report and Analysis

Consistent with Virginia Code Section 15.2-2306 (C), County Zoning Ordinance [subsection 3101.3](#), Establishment of Districts, sets forth the criteria to be used to determine which properties can be considered for inclusion within an historic overlay district. This report analyzes the property in the Hollin Hills neighborhood against those criteria. In response to the Board's directive, in cooperation with the Fairfax County History Commission (HC) and the Architectural Review Board (ARB), the Department of Planning and Development (DPD) has prepared this report to identify the proposed Hollin Hills HOD boundaries, the historic, architectural, and cultural significance of the buildings, structures, and property to be protected by inclusion in the potential Hollin Hills HOD, and present trends, conditions, and public objectives for preservation, as well as other specific information required by the Zoning Ordinance.

### D. Hollin Hills Work Group and Community Outreach

Mount Vernon District Supervisor Daniel Storck formed a Hollin Hills Work Group (Work Group) comprised of Hollin Hills homeowners, County staff, members of the ARB, and members of the HC to discuss staff findings and analysis with the community. The Work Group collaborated with staff to develop the specific features of the buildings and landscape within the potential HOD that should be preserved; reviewed the contributing and non-contributing properties located in Hollin Hills<sup>1</sup> and the potential HOD boundary and reviewed the draft Zoning Ordinance Amendment text, the draft Comprehensive Plan Amendment text, and the draft Design Guidelines.<sup>2</sup> The Work Group provided comments and opinions in support and in opposition of the creation of a potential Hollin Hills HOD. A letter from the Work Group is included in Attachment 7.

In addition to the 13 Work Group meetings held between April 2019 and August 2021, three community-wide meetings were held to inform the larger community of the process, methodology, analysis, and findings. The first informational meeting in March 2019 discussed

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<sup>1</sup> Contributing and non-contributing properties are identified by staff to determine or not a property has retained the identified features to be preserved. For more information see section on "Specific Features to be Preserved" in a subsequent section of this report.

<sup>2</sup> Design Guidelines offer guidance for homeowners, applicants, the design community, staff, and the ARB when determining the appropriateness of proposed changes within an HOD. For more information on Design Guidelines please reference that section of this report and Attachment 12.

the process of the potential Hollin Hills HOD, staff's role, the establishment of a Work Group, and how a potential HOD, if established, would impact the residents of the community. At a second community meeting in January 2021, staff presented their preliminary findings on the contributing or non-contributing status of each property, proposed options for the HOD boundary and outlined proposed language for the Zoning Ordinance Amendment, the proposed language for the Comprehensive Plan Amendment, and draft Design Guidelines. Staff made additional presentations to the Mount Vernon Council of Citizens' Associations and the Park Authority Board.

In September 2021, Supervisor Daniel Storck conducted a poll of the Hollin Hills community to gauge their support or opposition to the proposed creation of the Hollin Hills HOD. The community was given background on the history of Hollin Hills, the proposed HOD boundaries, the proposed contributing and non-contributing structures, proposed zoning ordinance provisions, and the draft Design Guidelines. A letter from Supervisor Storck and hard copy of the poll were mailed to the address of each property owner within the proposed Hollin Hills HOD. Overall, 62% of the poll responses were in support of the creation of the Hollin Hills HOD. For additional questions and information on the poll please reach out to staff or the Mount Vernon Supervisor's office.

## II. Staff Analysis

### A. Board Determination of Historic, Architectural, Archaeological or Cultural Significance- Zoning Ordinance subsection 3101.3.A

The Zoning Ordinance requires that the Board finds that properties included in historic overlay districts possess historic, architectural, archaeological, or cultural significance to Fairfax County. [Subsection 3101.3.A](#) provides that the properties in a potential HOD meet at least one of eight specified criteria for the Board to determine that the potential HOD possesses historic, architectural, archaeological, or cultural significance. The Hollin Hills neighborhood meets the criteria in [subsection 3101.3.A\(3\)](#):

(3) Embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic values, or represent a significant and distinguishable entity whose components may lack individual distinction.

The potential Hollin Hills HOD meets the criteria above because it possesses high artistic values and represents a significant and distinguishable entity whose components may lack individual distinction.



The properties in the potential Hollin Hills HOD possess high artistic values through the unique design and layout of the homes. The design of the Hollin Hills neighborhood represents the collaboration between developer Robert Davenport, architect Charles Goodman, and landscape architect Lou Bernard Voigt. Davenport had previous experience in Fairfax County with the development of the Tauxemont neighborhood in 1941, located a mile from Hollin Hills.<sup>3</sup> Davenport willingly took on the existing hilly terrain that defined the original Hollin Hills plat and wanted to incorporate the existing topography into the neighborhood design (Figure 2).<sup>4</sup> Davenport wanted to find an architect who was willing to design residences that complimented and utilized the hilly terrain. Architect Charles Goodman had been recommended to Davenport as a land planner. Davenport had a previous professional relationship with him, as Goodman had developed some building additions in the Tauxemont neighborhood.<sup>5</sup> Goodman embraced the contemporary architectural style and utilized the floor-to-ceiling modular windows that are one of the principal characteristics of the Hollin Hills home to tie the building to the site and surrounding elements of nature (Figure 3).<sup>6</sup> Goodman presented several types of residential units in the contemporary architectural style. For more information and description of each residential unit type, see Attachment 8.



Figure 2- Example of Hollin Hills Site Design and Topography



Figure 3- Example of Hollin Hills distinct contemporary

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<sup>3</sup> Trieschmann, Laura V, Andrea F. Schoenfeld and Jere Gibber. "Hollin Hills Historic District." National Register of Historic Places Inventory/Nomination Form. EHT Traceries, March 12, 2013, Section 8, page 73.

<sup>4</sup> Trieschmann, Section 8, page 73 .

<sup>5</sup> Ibid., Section 8, page 75.

<sup>6</sup> Ibid., Section 8, page 79-80.

In addition, the Hollin Hills neighborhood meets criterion 3101.3.A(3) by representing “a significant and distinguishable entity whose components may lack individual distinction.” While each residential dwelling has distinct contemporary style architecture, Goodman sited each residential structure in unique relationship to each of the surrounding structures and the existing topography. An exceptional feature of Hollin Hills is the deliberately planned relationship between multiple residential structures. Usually, “one level houses were on flat or low-slope lots and two-level houses were on steeper lots.”<sup>7</sup> Further, the “angular or ‘skewed’ siting of the houses was intentionally designed for “privacy and shared vistas [between the unit types], but also allowed for future additions, such as breezeways, carports and other living spaces.”<sup>8</sup>

Lou Bernard Voigt, the landscape architect, intentionally chose to exclude fencing as a method to delineate properties and designed a continuous landscape between properties by strategically incorporating planting groups that straddled property lines.<sup>9</sup> He considered elevation contours, existing natural cover, and the continuation of landscaping onto neighboring properties.<sup>10</sup> In addition, Voigt provided personal consultation and newsletters to aid homeowners in providing adequate landscaping maintenance to maintain his vision.<sup>11</sup>

#### Listing in the National Register of Historic Places

The Hollin Hills neighborhood was listed in the National Register of Historic Places (NRHP) in 2013 under *Criterion A (Event/Patterns)* for the Community Planning and Development significance, *Criterion C (Architecture)* for the contemporary architecture significance, and *Criterion G (Properties that have Achieved Significance within the Past 50 Years)*. The Hollin Hills neighborhood was nominated for the NRHP under the Multiple Property Document, *Historic Residential Suburbs in the United States, 1830-1960*, as a "Post-World War II and Early Freeway Suburb."

In 2015, additional documentation was added to the NRHP Nomination for Hollin Hills that determined that the district was also eligible under *Criterion B (Property)* for association with the lives of persons significant in our past. Ronald F. Lee, a principal historian of the historic preservation movement in the United States, resided in Hollin Hills with his wife Jean. In addition to helping to establish the National Trust for Historic Preservation, Lee was also key in the creation of the designation of National Historic Landmarks (within the NRHP listings), considered the most significant sites in the U.S.

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<sup>7</sup> Ibid. Section 7, page 6.

<sup>8</sup> Trieschmann, Section 7, Page 6.

<sup>9</sup> Ibid., Section 8, page 89.

<sup>10</sup> Ibid.

<sup>11</sup> Ibid.



For additional information on the significance of Hollin Hills please see the NRHP Nomination Form located here: [https://www.dhr.virginia.gov/wp-content/uploads/2018/04/029-5471-Hollin\\_Hills\\_HD\\_2013\\_NRHP\\_Final.pdf](https://www.dhr.virginia.gov/wp-content/uploads/2018/04/029-5471-Hollin_Hills_HD_2013_NRHP_Final.pdf).

### Summary

Staff believes the potential Hollin Hills HOD meets the criteria described in subsection 3101.3.A(3) because it consists of residences that reflect contemporary-style architecture that possess high artistic values and that represents a distinguishable entity whose components may lack individual distinction, due to the unique planned visual and physical relationship between residential structures. Hollin Hills is one of only a few existing contemporary architecture suburbs in Fairfax County with a uniqueness enhanced by shared vistas and relationships between the dwellings. Further, the community remains relatively intact and retains its historic elements due largely to the foresight and willingness of the homeowners to preserve the aesthetic of their community.

## B. Creation of Staff Report by DPD staff (Zoning Ordinance subsection 3101.3.B)

The Zoning Ordinance states that Department of Planning and Development staff, working with the Architectural Review Board and the History Commission, will submit a report to the Planning Commission and Board evaluating the proposal of the HOD and will include specific information as outlined in the following sections.

### 1. Analysis of Current Conditions —Zoning Ordinance subsection 3101.3.B(1)

Staff reviewed each property within the potential Hollin Hills HOD by conducting an analysis of current conditions including: ownership; existing and planned land use; existing zoning; access; existing structures by period of construction, architectural style, and condition; and matters relating to site conditions, such as building location, location of yards and other open spaces, and existing or planned off-street parking.<sup>12</sup>

#### Ownership

Staff identified a total of 492 parcels within the potential Hollin Hills HOD, comprised of 468 privately owned parcels, 14 parcels owned by the Civic Association of Hollin Hills (CAHH), 8 parcels owned by the Fairfax County Park Authority and 2 parcels owned by the Board (Attachment 9 - ownership map).

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<sup>12</sup> Zoning Ordinance subsection 3101.3.B(1).

### Existing and Planned Land Use

The existing land uses found in the potential Hollin Hills HOD include residential use, vacant/open land, recreational use, and institutional or utilities use, as shown in Figure 4 (Attachment 9 - Existing Land Use Map). The Comprehensive Plan Map identifies the properties within the proposed HOD as planned for private open space, residential use at 2–3 dwelling units per acre (du/ac), public parks, and private recreation uses (Attachment 9 - Comprehensive Plan Map). There are no proposed changes to the planned land use of the properties within the proposed HOD.

In addition, a Resource Protection Area (RPA) is located along portions of the northern and eastern proposed boundary and along a portion of the southwest boundary. An RPA also exists southeast of Pickwick Lane and west of Stafford Lane.

### Existing Zoning

The properties within the potential Hollin Hills HOD are predominantly zoned R-2 (residential, two dwelling units per acre). Zoning Ordinance [subsection 2102.5.B](#), *R-2 Lot and Dimensional Standards*, Table 2102.5, provides regulations for lots and buildings within R-2 zoning districts. Some of those regulations are listed below:

- Density: 2 dwelling units/acre
- Lot area minimum: 15,000 square feet
- Front setback, minimum: 35 feet
- Side setback, minimum: 15 feet
- Rear setback, minimum: 25 feet
- Building height, maximum: 35 feet for residential

The Hollin Hills community was developed and designed prior to the adoption of the current zoning ordinance, and the properties were approved in conformance with the Zoning Ordinance regulations existing at the time of the development (1946-1971). However, with the implementation of the 1978 Zoning Ordinance, all new construction or additions were required to meet the setback and building height requirements listed above; requirements that remain in the newly revised Zoning Ordinance, effective July 1, 2021.

The potential Hollin Hills HOD is surrounded by single-family residential properties, primarily zoned to the R-2 and R-3 Districts, with some R-4 zoned properties to the north (see Attachment 9 - Existing Zoning Maps).

### Access

The potential Hollin Hills HOD has 11 vehicular access points, including from Fort Hunt Road to the east and Sherwood Hall Lane to the south (Figure 5 and Attachment 9 - Access Map).



#### Existing Structures by Period of Construction, Architectural Style, and Condition

Most of the residential buildings in the potential Hollin Hills HOD were constructed between 1946 and 1971 in the contemporary architectural style. For the site condition assessment, staff categorized the primary residential structure as “good” or “poor.” Staff determined that all primary residential structures were adequately maintained and, therefore, in good condition. No properties were deemed to be in poor condition. A complete analysis for each property is included in Attachment 10.

#### Matters Relating to Site Conditions

Information about building location, location of yards, and other open spaces on each parcel, can be found on the aerial access map included in Figure 5 or Attachment 9. There are no proposed modifications to any site conditions. Further, there are no proposed modifications to existing parking or off-street parking requirements.

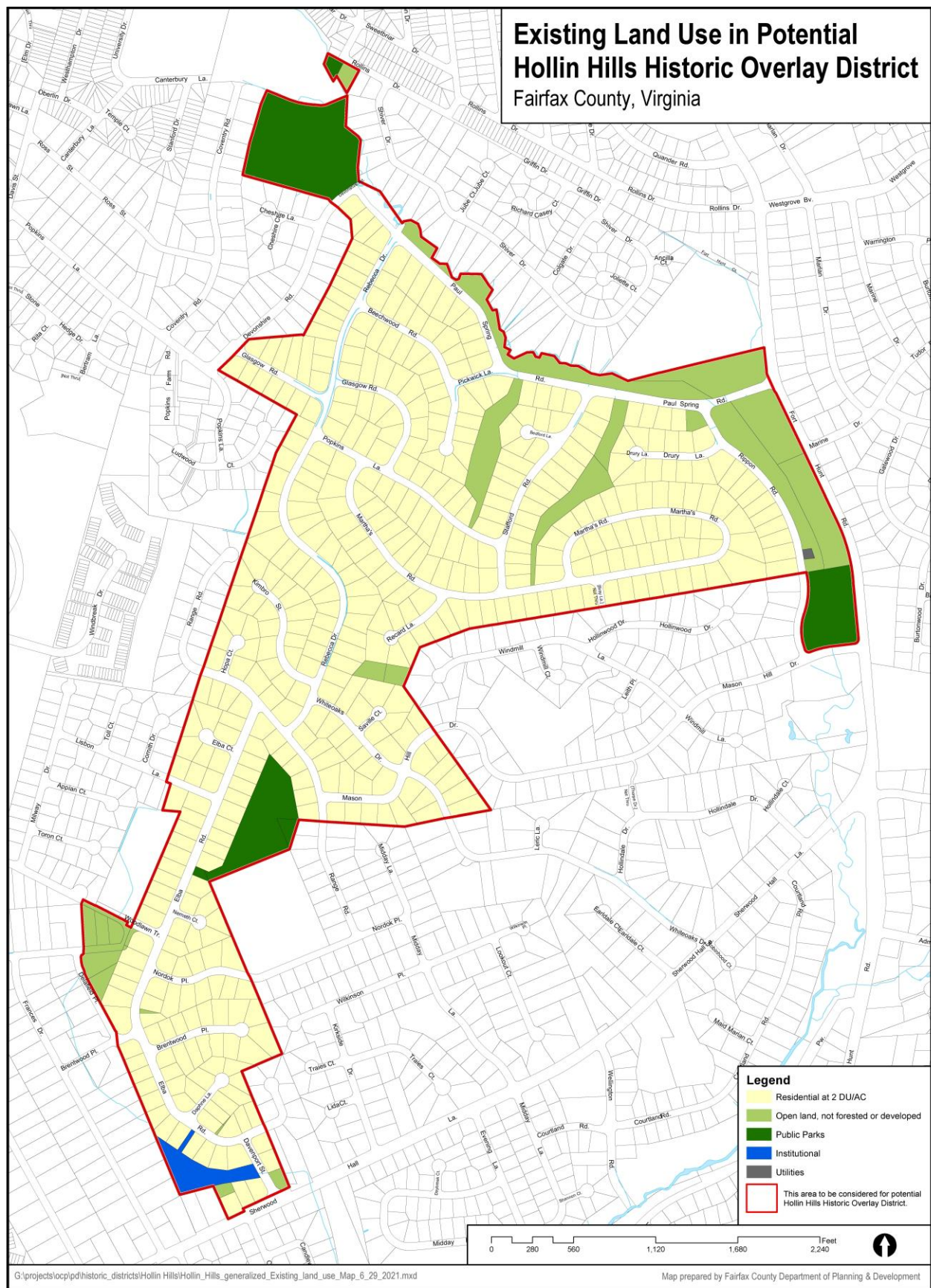


Figure 4- Existing Land Use Map



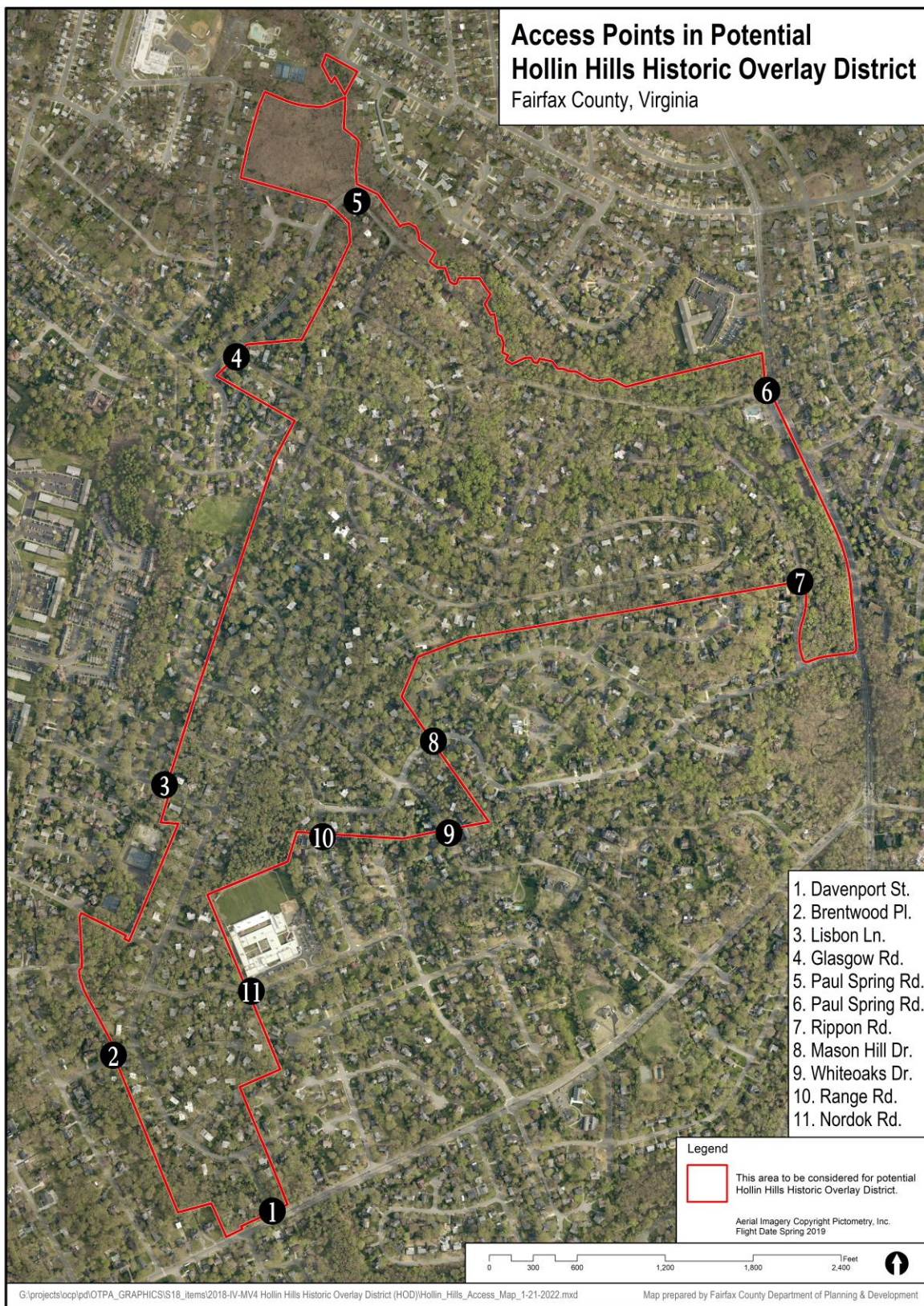


Figure 5- Aerial Map of Vehicular Access Points and Site Conditions



## 2. Specific Features to Be Preserved for the Potential Hollin Hills HOD— Zoning Ordinance Subsection 3101.3.B(2)

Staff began the task of identifying specific features to be preserved by defining a period of significance. Staff determined that the period of significance for the potential Hollin Hills HOD is 1946-1971. The first tract of land for the Hollin Hills neighborhood was purchased in 1946 and the first residence constructed in 1949.<sup>13</sup> The period of significance extends through 1971 when the real estate development office for Hollin Hills closed.<sup>14</sup> This is consistent with the period of significance for the existing Hollin Hills NRHP historic district boundary.<sup>15</sup>

Using the National Register Historic District boundary and property descriptions, staff conducted site visits to document each of the residences and photographed each residential structure from the street frontage. Staff recorded the condition and any modifications to the original structures, which included any updates from the 2006-2013 NRHP nomination property analysis. Staff then used County records and building permits to verify modifications to the structures, focusing on modifications to the primary residential structure. Staff did not analyze any accessory or detached structures.

From the information gathered from site visits, the NRHP Nomination, *Hollin Hills - Community of Vision, a Semicentennial History 1949-1999*<sup>16</sup> and in consultation with the Hollin Hills Work Group, the specific features of the properties to be preserved in the potential Hollin Hills HOD were identified. These include:

- Sculptural brick chimneys and masonry end walls
- Large wall expanses of windows
- Roof styles including shallow pitched gable, flat shed, or V-shaped butterfly
- Preservation of natural landscape topography by selecting minimally invasive building siting
- Architectural features characteristic of the contemporary style, including “clarity and rationality of design, clean lines, generally cubic shapes, and a conscious renunciation of all historical references”<sup>17</sup>

### Identification of Properties as Historic, Contributing, or Non-Contributing

Zoning Ordinance [subsection 3101.3.B\(2\)](#) requires that this report identify if a property within the potential Hollin Hills HOD is historic, contributing, or non-contributing by evaluating the characteristics and specific features to be preserved, as described above. The

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<sup>13</sup> Trieschmann, Section 8, page 68.

<sup>14</sup> Ibid.

<sup>15</sup> Ibid.

<sup>16</sup> Civic Association of Hollin Hills, *Hollin Hills - Community of Vision, a Semicentennial History 1949-1999*, 2000.

<sup>17</sup> Trieschmann, Section 8, page 71.

contributing and non-contributing status for each property is mapped and included in Attachment 10.

#### Defining Historic Properties

A historic property is defined by the Zoning Ordinance [subsection 9102](#), *General Terms*, as:

A property that has been determined through the establishment of a Historic Overlay District to be key or pivotal to the historic, architectural, or archaeological significance of a Historic Overlay District...

Due to the unique planned physical and visual relationship between residential structures, staff recommends that no properties be individually identified as historic within the potential Hollin Hills HOD. Staff determined that no property by itself is “key” or “pivotal” to the significance of the community. The community as a whole and the relationship between the properties within the community are essential parts of its historic significance.

#### Defining Contributing Properties

Staff used the Zoning Ordinance definition of contributing property and National Park Service (NPS) guidance on characteristics of a “contributing property” to analyze each structure as contributing or non-contributing to the potential Hollin Hills HOD. Zoning Ordinance subsection 9102, *General Terms*, defines a contributing property as:

A property located within a Historic Overlay District that adds to or supports the historic, architectural, or archaeological significance of the district as determined through the establishment of a Historic Overlay District.

NPS further expands that a contributing property, in a proposed district must retain historic integrity. Integrity is defined by NPS as the “ability of a property to convey its significance... [and] be grounded in an understanding of a property’s physical features and how they relate to its significance.”<sup>18</sup> NPS defines that a site can retain integrity through seven aspects: location, design, setting, materials, workmanship, feeling and association.<sup>19</sup> For example, a property within the potential Hollin Hills HOD that has retained its integrity can be defined as one that was modified within the period of significance or has the design and site features to be preserved intact. For this report, staff analyzed the primary residential structure to determine the contributing status of a property.

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<sup>18</sup> National Park Service, “National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation,” [https://www.nps.gov/subjects/nationalregister/upload/NRB-15\\_web508.pdf](https://www.nps.gov/subjects/nationalregister/upload/NRB-15_web508.pdf). Accessed 1/27/2021.

<sup>19</sup> Ibid.

### Defining Non-Contributing Properties

Neither the Zoning Ordinance nor the NPS specifically define a non-contributing property. Staff therefore determined that a non-contributing property would have substantial modifications that would cause it to have lost integrity in location, design, setting, materials, workmanship, feeling, or association and/or one that has modifications to the property outside the period of significance.

Examples of non-contributing properties could be those on which original residences by Charles Goodman were demolished and replaced with new structures in a different architectural style; original residences with new additions in architectural styles or employing materials that are not compatible with the original features; or properties were not part of the original platted development.

### 3. Description of Existing Structures, Premises and Uses Likely to have an Adverse Effect on the Potential Hollin Hills HOD—Zoning Ordinance subsection 3101.3.B(3)

#### Defining Adverse Effect

Subsection 3101.3.B(3) of the Zoning Ordinance requires that this staff report contain:

A description of existing structures, premises and uses likely to have an adverse effect on the desired character of the district, including those near and visually related to the district, with maps, photographs, and other data indicating the reasons for the adverse effect.

The term “adverse effect” is not defined in the Zoning Ordinance. Therefore, staff used the definition of “adverse effect” from federal regulations for the *Protection of Historic Properties* (36 CFR Part 800):

An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association.<sup>20</sup>

The federal regulations further specify that adverse effects could include:

- physical destruction or damage
- alteration inconsistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties
- relocation of the property
- change in the character of the property’s use or setting
- introduction of incompatible visual, atmospheric, or audible elements; and
- neglect and deterioration<sup>21</sup>

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<sup>20</sup> “36 CFR Part 800- PROTECTION OF HISTORIC PROPERTIES,” as amended through August 5, 2004., <https://www.achp.gov/sites/default/files/regulations/2017-02/regs-rev04.pdf>. Accessed 1/27/2021

<sup>21</sup>“Ibid.

Therefore, any impacts to a property that would diminish the integrity and specific features for preservation as outlined by staff in the previous section of this report would be considered an adverse effect. Those specific features identified for preservation include:

- Sculptural brick chimneys and masonry end walls
- Large wall expanses of windows
- Roof styles including shallow pitched gable, flat shed, or V-shaped butterfly
- Preservation of natural landscape topography by selecting minimally invasive building siting
- Architectural features characteristic of the Contemporary Style, including “clarity and rationality of design, clean lines, generally cubic shapes, and a conscious renunciation of all historical references.”<sup>22</sup>

#### Identifying Potential Adverse Effects

Staff determined that the following types of modifications to the dwelling or to the property could have a potential adverse effect on the properties in the potential Hollin Hills HOD: demolitions, new construction, additions to structures, pools, and fences. Staff presented these potential adverse effects and discussed them with the Hollin Hills Work Group.

The examples of potential adverse effects shown in the following paragraphs are for illustrative purposes only and should not be construed to suggest prohibition of any modifications to the properties in the potential HOD. All staff photographs included were taken from the public right-of-way, unless otherwise noted.

#### Potential Adverse Effect: Partial and Complete Demolitions

Demolitions are perhaps the most severe example of a potential adverse effect on an HOD. The significance of the potential Hollin Hills HOD is in the residential structures and properties themselves—a total demolition would impact not only the structure but would also negatively impact the intricate relationship between neighboring residences. See the next subsection, *New Construction*, for an example and further analysis of a demolished dwelling and impact of new construction on the historic integrity of the neighborhood.



Figure 6- Example of Potential Adverse Effect-

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<sup>22</sup> Trieschmann, Section 8, page 71.



There are several factors that can contribute to the necessity of the demolition of a structure, including natural causes. Building permit history reflects and community members recall natural events that have impacted and caused the eventual demolition of parts of homes. Trees falling on houses, improper drainage resulting in foundation issues, and general home maintenance problems are frequent reasons listed in building permit history for home modifications and/or demolitions. Figure 6 depicts an example of damage to a residence due to a large tree falling on the structure.

#### Potential Adverse Effect: New Construction

An element of the architectural uniqueness of these homes is the modest footprint, that varies in size from 1,150 square feet to 2,100 square feet.<sup>23</sup> Proposals for new construction for larger homes that could impact compatibility with original homes were identified as a potential adverse effect. New structures may not be consistent with the architectural style and the size of the existing homes and may overwhelm the structures in the potential HOD. New construction may also introduce architectural elements and styles that are not compatible with the potential HOD's historic character. An example of a newly constructed building with a potential adverse effect due to differing architectural style and aesthetic is demonstrated in aerial photography in Figures 7 and 8. The original Goodman dwelling on this lot, a Unit #7L, was demolished (Figure 7). The original Unit #7L dwelling was chosen for this lot due to the existing topography and in consideration of the siting and placement of neighboring homes. In this example, even while adhering to the design aesthetic of Hollin Hills homes, the new residential dwelling has a larger footprint and multiple rooflines (Figure 8). This new dwelling altered the original intent and layout of the community and relationship between residential structures. The new construction footprint also required removal of mature landscaping and altered the intentionally designed viewsheds between the residences.



Figure 7- Aerial view (Source: 2003 County GIS)



Figure 8- Aerial view (Source: 2021 County GIS)

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<sup>23</sup> Trieschmann, Section 7, pages 8-14.

The creation of a Hollin Hills HOD would protect the historic integrity of the neighborhood by requiring ARB review and/or approval of any new additions or construction within the boundaries. The ARB would provide guidance and may recommend modifications in keeping with the design characteristics of the potential Hollin Hills HOD. For further analysis on height and setback considerations, see the Zoning Ordinance Amendment Staff Report in Attachment 3 of this report.

#### Potential Adverse Effect: Additions to Residential Dwellings

Building additions are also a potential adverse effect to the historic character of the Hollin Hills. Due to the size of the original house footprints, there is pressure to construct additions to accommodate more residential living space; these additions may extend to the full lot build-out potential. An example of a residence with additions that could be considered potential adverse effects is shown in Figure 9. The original dwelling on this property was a Unit #2; a neighboring property that is a Unit #2 is shown for comparison purposes in Figure 10. In this example, even while the additions may adhere to the modernist design aesthetic of Hollin Hills, the new additions altered the original low sloped roofline of the Unit #2 and the original rectangular footprint. The new addition removed windows that are defining characteristic features of the Hollin Hills architectural style.



Figure 9- Residential Structure with additions  
(Source: Staff)



Figure 10- Photo of same Unit type (#2) for Comparison with Figure 10  
(Photo orientation altered by staff for and comparison purposes)

Similar to the potential adverse effects related to new construction mentioned previously, the creation of a Hollin Hills HOD would protect the neighborhood by requiring an ARB review of modifications and their alignment with recommended Design Guidelines.



#### Potential Adverse Effect: Swimming Pools

Swimming pools are also identified as a potential adverse effect, due to impacts on landscaping and visual impact to neighboring properties. The installation of a swimming pool would require ground disturbance and possible removal of landscaping, therefore potentially adversely impacting the visual and physical relationship between residences (Figures 11 and 12). Figure 11 depicts the relationship between properties and existing landscaping before the pool installation shown on the same property in Figure 12.

The County requires building permits, site plans, and mechanical permits for the installation of residential private swimming pools. Any building permit associated with the installation of the swimming pool would require ARB review and approval. ARB review (but not approval) would be required for grading plans that disturb more than 2,500 square feet of land. ARB review would not be required for mechanical permits. Therefore, the type of permit (building or mechanical) or grading plan determines whether a pool needs ARB review and/or approval. In the example above, the ARB could determine that the permitted, by-right pool, could alter the character of the neighborhood by removing intentionally placed landscaping and modifying visibility between structures.



Figure 11- Example of swimming pool (Source: 1976, County GIS)



Figure 12-Example of swimming pool (Source 1990, County GIS)

#### Potential Adverse Effect: Fences

Fences are identified as a potential adverse effect. Part of the significance of Hollin Hills is its landscaping and topography. The original landscape design of the Hollin Hills neighborhood embodied a continuous and seamless flow between properties. While staff determined that the construction of fences may negatively impact the properties of the proposed HOD, fences can be constructed without building permits. Fences would not be subject to ARB review. However, if fences are included with a building permit application or



Figure 13- Example of Fencing (Source: 2021, County GIS)

site plan review for an addition, for example, the ARB can comment on the design to ensure alignment with Design Guidelines recommendations. Figure 13 shows existing fences in the community.

#### Current County Reviews and Architectural Review Board Review and/or Approval

If the potential Hollin Hills HOD is adopted, some of the potential adverse effects would continue to be mitigated by the existing Fairfax County permitting and site plan process. Fairfax County currently monitors the proposed impact of demolitions, new construction, and additions through the review and approval of building permits and reviews associated with site plan submittals and rezoning applications. An additional step if the potential HOD is created, will be the ARB review and approval of building permits and the review and recommendations on site plans located within the historic overlay district. The Design Guidelines would provide the ARB and the homeowner (or their agent) with direction on what to consider when modifying properties. The homeowner or agent would consult with the ARB Administrator (county staff) to determine the type of ARB process-review and/or approval is required. If required, the homeowner or agent would then present the proposal to the ARB. The ARB may offer suggestions to lessen any impacts of the proposal and discuss how to preserve potential defining characteristics before making a formal decision or recommendation.



#### 4. Archaeological Impact (Zoning Ordinance subsection 3101.3.B(4))

Pursuant to Zoning Ordinance [subsection 3101.3.B\(4\)](#), staff conducted:

An analysis of the extent and historic significance of identified archaeological sites including general location maps, photographs, and other data indicating the importance of each site.

Fairfax County Park Authority (FCPA) Archaeological Collections Branch staff analyzed the archaeological potential for the properties located within the potential Hollin Hills HOD and found no known or predicted archaeological sites within the proposed boundary. However, archaeology staff noted that an existing cemetery is located at the intersection of Popkins Lane and Marthas Road (Figure 14). Staff recommended that if any ground disturbance is proposed within 50 feet of the existing cemetery, a cemetery delineation study should be conducted to ensure that burials do not extend beyond the currently assumed boundaries.



Figure 14- General location of existing cemetery

On the FCPA owned land that is within the boundaries, there is a moderate potential for the presence of archaeological resources. If any ground-disturbing activity is planned for these park areas, archaeological testing should occur as regulated in Zoning Ordinance [subsection 3101.6\(F\)](#). For the full recommendations and comments from the Park Authority please see Attachment 11.

#### 5. Analysis of Contributing Non-Contributing Properties and Potential Boundary (Zoning Ordinance subsection 3101.3.B(5))

Of a total of 492 separate tax map parcels within the potential boundary, staff recommends that 454 properties be considered contributing to the potential Hollin Hills HOD and 38 properties be considered non-contributing (Figure 15). Of the 38 non-contributing properties, 30 are residential properties. While some of the criteria for analysis differed between the National Register Nomination and the staff-determined defining characteristics, the number of non-contributing residential properties increased from 13 identified in the National Register nomination analysis to 30 identified with staff criteria. Most of these changes in contributing status of the property relate to additions that were constructed after the 2006-2013 National Register analysis. For example, staff found that some newer additions overwhelmed the original footprint or defining characteristics of the home, rendering those properties non-contributing. This demonstrates an emerging and consistent trend to alter the existing footprints of the Hollin Hills houses with modifications to meet current living practices.

Pursuant to [subsection 3101.3.B\(5\)](#), a map showing all 492 properties with contributing and non-contributing status is included as Figure 15. A complete list of the properties by address and tax map number, including their proposed contributing or non-contributing status, is listed in Attachment 10.

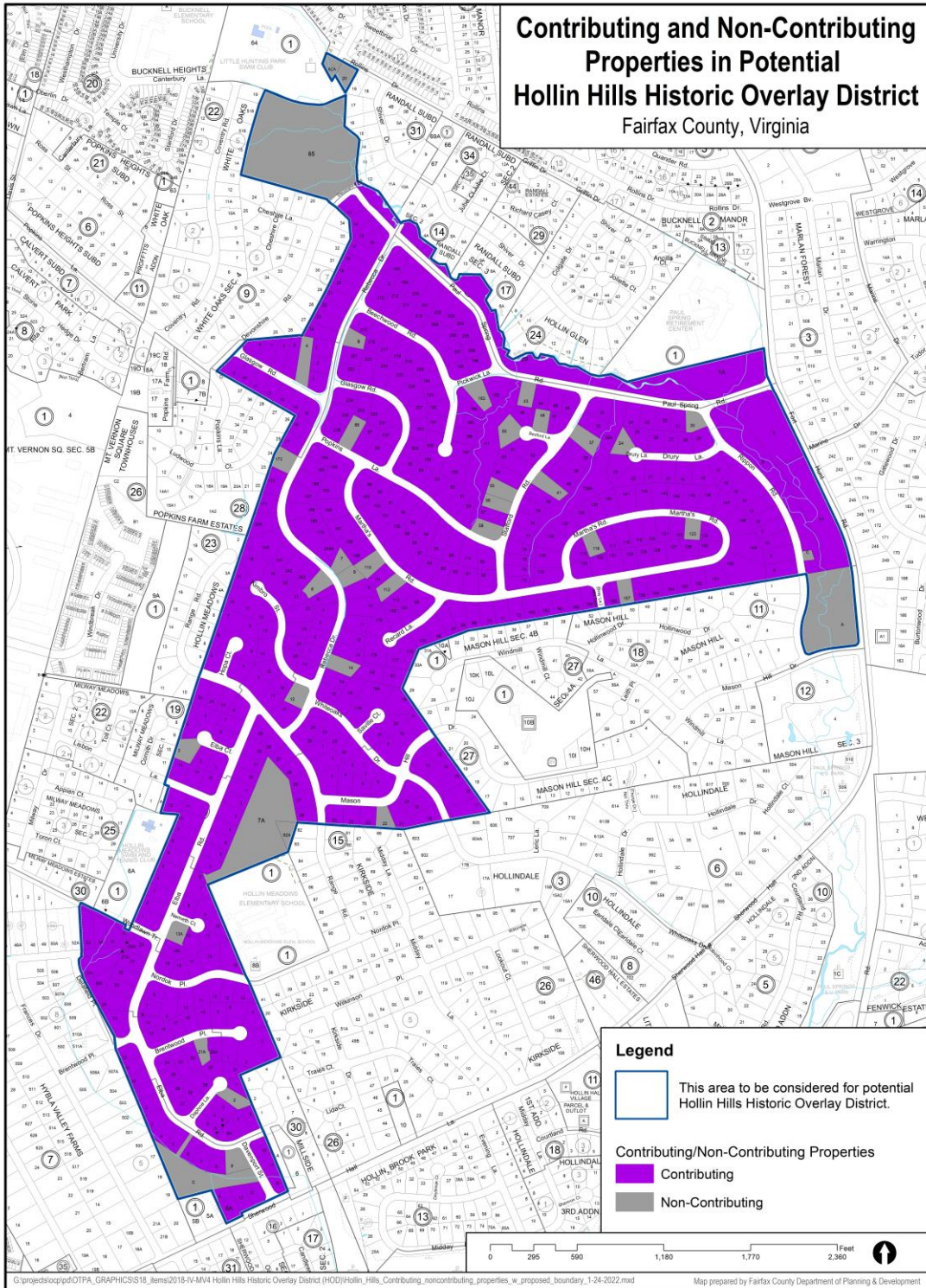


Figure 15- Contributing and Non-Contributing Properties in potential Hollin Hills HOD

## 6. Defining the Boundaries of the Proposed HOD (Zoning Ordinance subsection 3101.3.B(6))

Pursuant to [subsection 3101.3.B\(6\)](#), staff analyzed the boundaries and characteristics of Hollin Hills that are to be preserved and enhanced under a potential historic overlay district:

(6) The boundaries of an HOD are based on an analysis that determines and describes the characteristics of the area that is to be preserved and enhanced. The boundaries may be drawn to include:

- (a) A property or properties in which historic events have occurred;
- (b) A property or properties that are heritage resources or contain noted heritage resources;
- (c) A property or properties that have special cultural significance; or
- (d) A property or properties that have been identified as having important archaeological significance.

Staff determined that all the properties designated in the Hollin Hills Historic District listed in National Register of Historic Places are also considered county heritage resources eligible for inclusion within the potential Hollin Hills HOD.

## 7. Additional Properties that Possess Significance Individually (Zoning Ordinance subsection - 3101.3.B(7))

Pursuant to Zoning Ordinance [subsection 3101.3.B\(7\)](#), staff analyzed properties adjacent to the proposed HOD boundary for consideration of inclusion in the potential HOD:

(7) Additional properties that may or may not possess historical significance individually may be included in the HOD as follows:

- (a) A property or properties that are visually or historically related to the district;
- (b) A property or properties that reflect the historic pattern of development of the district;
- (c) A property or properties that relate to the social or economic character or architectural or archaeological interest of the district; or
- (d) Lands closely related to and bearing upon the visual character of the district and that contribute to the historic context of the district.

Staff analyzed 13 adjacent properties for possible inclusion in the potential Hollin Hills HOD:

- 8 lots owned by the Fairfax County Park Authority (FCPA)
- 2 lots owned by the Board
- 2 lots owned by the Hollin Meadows Swim and Tennis Club
- 1 lot owned by Fairfax County Public Schools (Hollin Meadows Elementary School)



Table 1 outlines the properties staff considered, their current use and acreage and the Zoning Criteria ([subsection 3101.3.B](#)(7) a through d) that the property met. Figure 16 shows those properties shown in blue.

Table 1- Properties considered for inclusion in the potential Hollin Hills HOD

Property Name	Location/ Address	TM #	Ownership	Current Use	Acreage	Subsection 3101.7 ZO Criterion Met (A-D) as determined by staff	Staff Recommendation for Inclusion in HOD
White Oaks Park	7100 Devonshire Rd., 2241 Rollins Dr., 2237 Rollins Dr.	93-1 ((1)) 65, 93-1 ((31)) 20, 93-1 ((1)) 65A	Fairfax County Park Authority (FCPA)	Recreational Facilities	10.32 combined	D	Yes, non-contributing
Paul Springs Stream Valley Park	SE of NR boundary (W of Fort Hunt Road)	93-4 ((11)) A	FCPA	Recreational Facilities	4.22	D	Yes, non-contributing
Paul Springs Stream Valley Park	West of Davenport Road	102-1 ((20)) C	FCPA	Recreational Facilities	2.42	D	Yes, non-contributing
Hollin Meadows Park	7603 Elba Road	93-3 ((1)) 7A, 93-3 ((15)) 82A, 93-3 12B	FCPA	Recreational Facilities	5.48 combined	B	Yes, non-contributing
Vacant Property	1801 Paul Spring Road	93-4 ((5))30	Fairfax County BOS	Vacant	0.35	A	Yes, non-contributing
Vacant Property	East of Rippon Road	93-4 ((5)) C	Fairfax County BOS	Vacant	0.12	A	Yes, non-contributing
Hollin Meadows Swim and Tennis Club	2500 Woodlawn Trail	93-3 ((1)) 6A, 93-3 ((01)) 6B	Hollin Meadows Swim and Tennis Club	Private Open Space	5.20 combined	A and B	Not included in HOD
Hollin Meadows Elem. School	2310 Nordok Place	102-1 ((1))8B	Fairfax County Public Schools	Public Elementary School	9.66 acres	A and B	Not included in HOD

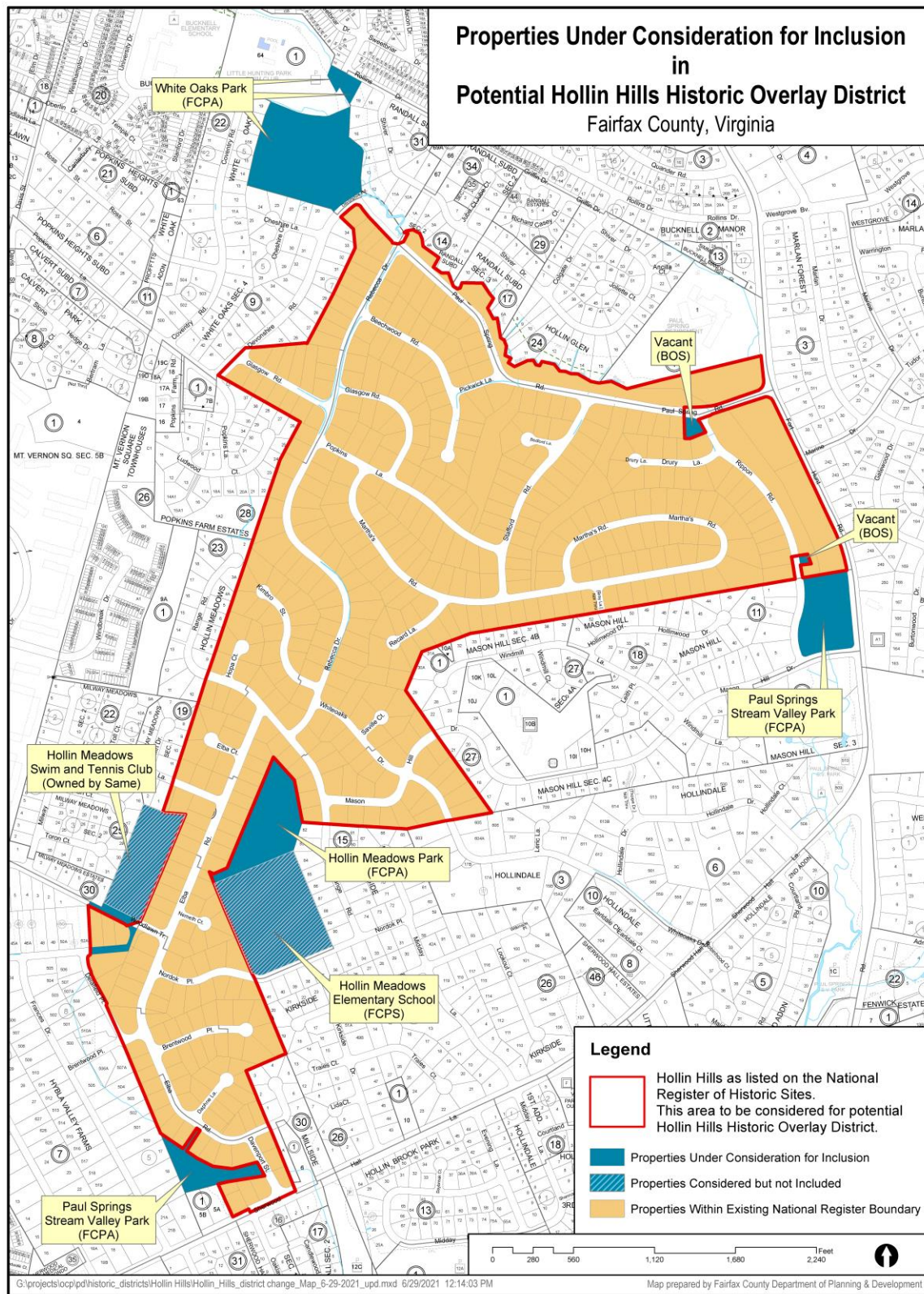


Figure 16- Properties for Proposed Inclusion in Hollin Hills HOD





Figure 17- White Oaks Park



Figure 18- Paul Spring Stream Valley Park – East of Rippon Road



Figure 19- Hollin Meadows Park Entrance from Elba Road

### Fairfax County Park Authority Properties

The FCPA staff recommended the addition of three parks (8 lots) to the potential HOD, including White Oaks Park, portions of Paul Spring Stream Valley Park, and Hollin Meadows Park (Figures 17-19). FCPA staff requested that the Park Authority Master Plan approvals for the parks be included in the discussion for uses within the potential Hollin Hills HOD. None of the current master plan approvals propose major changes to the existing parks. The FCPA Board has reviewed this proposal.

Staff analyzed these 8 FCPA-owned properties and determined that they are non-contributing. However, they could provide the proposed Hollin Hills HOD with valuable landscape buffers and viewshed protection for the residential properties on the periphery of the potential HOD. The Work Group supported the inclusion of these non-contributing properties into the potential Hollin Hills Historic Overlay District.

### Board-Owned Properties

The property located at 1801 Paul Spring Road is the C.R. 'Mac' McCalley Park (Tax Map 93-4 ((05)) 30) and is owned by the Board and managed by the Civic Association of Hollin Hills (Figure 20). A separate vacant Board-owned property to the east of Rippon Road (Tax Map 93-4 ((5)) C) is designated as a reserved area for a pumping station (Figure 21). Currently, it is developed with a half basketball court. These two lots have little development potential, but if included will create a more geographically cohesive potential HOD. While these lots were included



in the original platted subdivision for the Hollin Hills neighborhood, these lots would be listed as non-contributing because of the substantial alteration to the original uses.



Figure 20 – C.R. 'Mac' McCalley Park



Figure 21 - BOS Owned Property, east of Rippon Rd.

#### Hollin Meadows Swim and Tennis Club

Staff considered but does not recommend that two lots owned by the Hollin Meadows Swim and Tennis Club be included within the potential Hollin Hills HOD. The Hollin Meadows Swim and Tennis Club opened in 1964 as the second of two private swim and tennis clubs within Hollin Hills for community residents. This swim and tennis club was not included as part of the original platted Hollin Hills development and therefore should not be included in the potential Hollin Hills HOD. The Work Group supported staff's recommendation that this property not be included in the potential Hollin Hills HOD.

#### Hollin Meadows Elementary School

Staff considered but does not recommend that the Hollin Meadows Elementary School (one lot) be included in the potential Hollin Hills HOD. The school was constructed in 1963 and opened in 1965. The school is dramatically modified from the original design with additions. Although adjacent to the neighborhood and having architectural features related to the neighborhood, the school was not the first school that the residents of Hollin Hills neighborhood attended, and it was not planned as part of the original development of the community. The Work Group supported staff's recommendation that the school not be included in the potential Hollin Hills HOD.

### 8. Staff Recommended Detailed Regulations to Prevent Changes to the potential Hollin Hills HOD (Zoning Ordinance subsection 3101.3.B(8))

Zoning Ordinance [subsection 3101.3.B\(8\)](#) requires that staff provide:

Recommendations concerning detailed regulations for the district to prevent changes that are architecturally incompatible with the buildings, structures, or sites to be preserved.

Recommendations may include:

- (a) Permitted and prohibited principal and accessory uses and structures;
- (b) Use standards;
- (c) Bulk regulations;
- (d) Lot size requirements;
- (e) Performance standards;
- (f) Off-street parking and loading requirements;
- (g) Standards for signs, outdoor lighting, and landscaping and screening;
- (h) Standards for the exterior character of buildings and sites that are visible from a public right-of-way; and
- (i) Standards for control of, additions to, or removal of existing buildings when the regulations prevent changes that are architecturally incompatible with preserved buildings, structures, or sites.

This analysis and staff's recommendations on regulations are included in Attachment 3 of this report, the Proposed Zoning Ordinance Amendment Staff Report.

### III. Draft Design Guidelines (Zoning Ordinance subsection 3101.6.G)

Zoning Ordinance Subsection 3101.6.G requires that the ARB adopt guidelines for use in the review of new construction and exterior alteration of existing buildings, structures, and sites within HODs. Design Guidelines further offer guidance for homeowners, applicants, the design community, staff, and the ARB when determining the appropriateness of proposed changes within an HOD.

The Draft Hollin Hills HOD Design Guidelines (Draft Guidelines) are currently under review by the ARB (Attachment 12). The Draft Guidelines dated January 2022 are submitted as supporting documentation for the Planning Commission and the Board to review with the potential Hollin Hills HOD proposal. The ARB has final review and approval authority of Design Guidelines. If the Board approves the potential Hollin Hills HOD, the ARB will complete their review and make a motion on the Draft Guidelines.

The Draft Guidelines strongly encourage preservation where possible, but also support historically compatible changes consistent with the HOD's architectural character and designed landscape. While repair and retention of historic elements and materials are the preferred course of action, replacement can also be an appropriate solution. Ideally, in-kind elements and materials can be replaced.

To promote both traditional preservation practices and allow for necessary alterations, the Draft Guidelines provide information on maintenance, repair, and replacement, and offer guidance for new construction, additions, and site elements. Not all categories covered in the Design Guidelines are items that require a County building permit or site plan. Rather, the Draft Guidelines are meant to provide general guidance covering a wide range of project types.

To limit changes that are out of character with the potential Hollin Hills HOD, the Draft Guidelines are meant to encompass the entire HOD, inclusive of both contributing and non-contributing resources. These Draft Guidelines allow for more flexibility when applied to non-contributing resources; however, changes made to non-contributing resources are still likely to affect the character of the district and surrounding properties and are subject to review and/or approval by the ARB.

## IV. Comments from Fairfax County Agencies and Boards and Commissions (BACs)

The Department of Planning and Development Staff reviewed the potential Hollin Hills HOD Zoning Ordinance Amendment, Comprehensive Plan Amendment, and rezoning proposal with other County staff.

### Fairfax County Park Authority (FCPA) Comments

FCPA staff noted that the proposed HOD, with the inclusion of Hollin Meadows and portions of Paul Springs Stream Valley Park and White Oaks Park, would have no adverse impact to the land, resources, facilities, or service level of the FCPA.

FCPA reviewed the proposal and supports the creation of the potential Hollin Hills HOD as it furthers FCPA objectives to “protect and preserve the physical, cultural and natural heritage of Fairfax County for the enjoyment and education of the citizenry.”

Existing FCPA parks are developed according to their respective park master plans and FCPA policy. Accordingly, if the FCPA were to propose new or different park elements for any of the parks located within the potential Hollin Hills HOD, a public Master Plan Revision process would be required, and this would include FCPA review and approval of or recommendation from the ARB. For the full recommendations and comments from the Park Authority please see Attachment 11.

### Water Quality and Stormwater Management

Stormwater Planning Division staff (SWPD) notes that there are two existing stormwater projects within the proposed boundaries of the potential Hollin Hills HOD, Paul Spring Segments Stream Restoration 1 (Goodman) and 2 (Brickelmaier). These areas were retained within stream valleys to provide common lands for passive recreation, nature appreciation and to buffer individual lots with extensive green space for the development of the original Hollin Hills community. The anticipated completion of these projects is June 2022.

SWPD notes that since Hollin Hills was developed, plant species introduced as landscaping have become invasive, streams have eroded due to excessive stormwater runoff, and deer browse has prevented native species from regenerating forest areas. Protection, enhancement, and management of the streams and riparian areas in Hollin Hills are critical

to the long-term viability of the natural setting that contributes to the community's historic significance.

SWPD staff recommended strategies to protect and restore the natural areas within the community parks and on private lots should include control of invasive plant species, planting of native species, restoration of streams and control of stormwater, and protection of native plantings from deer browse until they become robust enough to survive. As a result, this would enhance the historic landscaping features of the potential historic overlay district. Therefore, specific recommendations in the Design Guidelines were created regarding placement and preservation of existing landscaping for site design. For the full recommendations and comments from SWPD, including a map of stormwater project locations please see Attachment 13.

#### Fairfax County Department of Transportation

Fairfax County Department of Transportation (FCDOT) staff determined that creation of the potential Hollin Hills HOD would not have any direct transportation impacts. However, FCDOT staff noted that the potential Hollin Hills HOD could impact improvement projects along Fort Hunt Road and Sherwood Hall Lane, both minor arterial roadways. The Hollin Hills HOD boundary excludes right-of-way for these two roadways; therefore, these roadways would not require HOD regulation or oversight. For the full recommendations and comments from FCDOT please see Attachment 14.

#### Architectural Review Board and History Commission

The ARB and the HC have been involved in the review and analysis of the potential Hollin Hills HOD, as required by the Zoning Ordinance. Both bodies have been briefed on the findings of this report, including the potential boundaries, historical and architectural significance, potential contributing and non-contributing properties, and proposed language for the Zoning Ordinance Amendment, for the Comprehensive Plan Amendment and the rezoning. The recommendations and comments from both the ARB and HC will be forwarded to the Planning Commission and the Board under separate cover. In addition, the ARB has reviewed the multiple versions of the draft Design Guidelines.

## V. Summary

Staff recommends that the Board establish the Hollin Hills HOD to ensure the continuance and conservation of the historic integrity of the Hollin Hills neighborhood. The establishment of the HOD will help prevent adverse development influences and potential adverse effects to the Hollin Hills neighborhood. The Hollin Hills HOD will ensure that new structures and additions proposed within the HOD will be reviewed for their compatibility and will preserve and enhance the character-defining features of the properties.



## VI. Recommendations

Staff recommends that the Board:

1. Establish the Hollin Hills Historic Overlay District. The Hollin Hills HOD should include the 492 properties within Tax Maps 93-1, 93-3, 93-4 and 102-1 in the Mount Vernon District as shown on a map and listed in Attachment 10.
2. Declare under Zoning Ordinance subsection 3101.3.D that the buildings, structures, or sites to be preserved are of historical, architectural, archaeological, or cultural significance worthy of protection against destruction and encroachment.
3. Declare that 454 properties identified herein be listed as contributing to the Hollin Hills HOD and that 38 properties identified herein be listed as non-contributing to the Hollin Hills HOD as identified in Attachment 10.
4. Adopt the proposed Zoning Ordinance text amendment, which establishes regulations for structures and property located within the Hollin Hills HOD based on the defining historic features of the properties within the district.
5. Adopt the proposed Comprehensive Plan Amendment PA 2018-IV-MV4, which proposes to update Plan language and figures to identify the proposed HOD.
6. Amend the Zoning Ordinance map to show the Hollin Hills HOD boundary and rezone the properties to add the Hollin Hills Historic Overlay District boundary, as proposed in rezoning application RZ 2021-MV-00017.

## VII. Attachments

1. Board Matter dated July 31, 2018:  
<https://www.fairfaxcounty.gov/boardofsupervisors/sites/boardofsupervisors/files/asset/s/meeting-materials/2018/board/july31-board-summary.pdf#page=34>
2. Board Matter and Resolution dated January 25, 2022 (Administrative Item #3):  
<https://www.fairfaxcounty.gov/boardofsupervisors/sites/boardofsupervisors/files/asset/s/meeting-materials/2022/board/jan25-final-board-package.pdf>
3. Zoning Ordinance Amendment Staff Report
4. Comprehensive Plan Amendment Staff Report PA 2018-IV-MV4
5. Rezoning Staff Report RZ 2021-MV-00017
6. Zoning Ordinance Subsection 3101-Historic Overlay Districts and Zoning Ordinance Section Subsection 8103 – Architectural Review Board
7. Hollin Hills Work Group Comments dated June 15, 2021
8. Description of Architectural Styles of Residences- Charles Goodman House Unit Types
9. Potential Hollin Hills HOD Maps required per the Zoning Ordinance: Ownership Map, Existing Land Use Map, Planned Land Use Map, Existing Zoning Map and Access Map
10. Contributing and Non-Contributing Properties within the Potential Hollin Hills HOD – tax map list and map
11. Comments from Fairfax County Park Authority dated April 30, 2020

12. Draft Hollin Hills HOD Design Guidelines dated January 2022
13. Comments from Stormwater Planning Division of DPWES dated January 31, 2020
14. Comments from the Fairfax County Department of Transportation dated  
November 19, 2019





43. **POSSIBLE ESTABLISHMENT OF A HOLLIN HILLS HISTORIC OVERLAY DISTRICT (MOUNT VERNON DISTRICT)** (1:12 p.m.)

Supervisor Storck said that the Hollin Hills Subdivision in the Mount Vernon District was the first planned development of modern architecture in the Washington Metropolitan area and one of the earliest subdivisions of its type in Virginia. Developed between 1949 and 1971, the 326-acre residential neighborhood has 463 single family dwellings. The subdivision was listed as a historic district in the County Inventory of Historic Sites on September 12, 1972, and was listed in the National Register of Historic Places on September 30, 2013. The National Register map is attached to his written Board Matter for reference.

Supervisor Storck noted that Charles Goodman served as the architect for the vast majority of the houses, with developer and builder Robert Davenport designing two models. Landscape designer Lou Bernard Voigt, followed by Daniel Urban Kiley and Eric Paepcke, provided amenable property owners with a plan that harmonized the contours of the land and highlighted each building's individual design and siting.

The National Register nomination notes that Hollin Hills was “a true experimental laboratory for an architect who sought to create a diversity of architectural expression that honors both the land and its residents.” Hollin Hills provided a low-cost way to offer high-quality housing to broad populations; blurred the traditional relationship between indoors and out; tested the potentialities of natural setting and modular construction; and explored the freedom of the open floor plan.

Supervisor Storck expressed his belief that it is appropriate for the County to consider the establishment of a Hollin Hills Historic Overlay District (HD) due to its important architectural and land design significance to the character of Fairfax County.

Therefore, Supervisor Storck moved that the Board direct staff to evaluate the establishment of a Historic Overlay District for Hollin Hills, which will include but is not limited to the following:

- As required by Paragraph 3 of Section 7-203 of the Zoning Ordinance (ZO), prepare a written report and ensure that the resultant report is coordinated with all appropriate Boards, Authorities, and Commissions
- Initiate an amendment to the ZO to establish the Historic Overlay District, if recommended by the report. This amendment should be added as a Priority 1 item to the ZO Amendment Work Program
- Prepare an amendment to the Comprehensive Plan for any map and text changes that may result from this process

- Initiate a Board's own rezoning to create the boundaries of the district, if such is recommended by the report

Chairman Bulova seconded the motion and it carried by unanimous vote.

44. **CONCURRENT PROCESSING OF SPECIAL EXCEPTION AMENDMENT AND 2232/FEAURE SHOWN TO PERMIT THE DEVELOPMENT OF THE LORTON COMMUNITY CENTER (MOUNT VERNON DISTRICT)** (1:16 p.m.)

Supervisor Storck said that the new Lorton Community Center was approved as part of the Human Services and Community Development Bond Referendum in November, 2016. The facility will include space for the Lorton Community Action Center (LCAC), as the Murphy House/trailer currently used by the LCAC will be demolished, and the Lorton Senior Center, is currently operating in leased space. The site for the Lorton Community Center has been identified adjacent to the Lorton Community Library at 9518 Richmond Highway, which is located at Tax Map 107-4 ((1)) 34. This long-anticipated facility will provide a broad array of services, programs and activities for individuals of all ages and abilities throughout the community and complement the services provided by the adjacent Lorton Community Library. It is anticipated by the residents of the Mount Vernon District, especially in this rapidly changing corridor.

County staff is currently finalizing the schematic designs for the new community center building and related site work.

Therefore, Supervisor Storck moved that the Board initiate the following concurrent processing:

- A Board's Own Motion Special Exception Plan Amendment for the Lorton Community Action Center
- The determination under Section 15.2-2232 of the Code of Virginia to facilitate the construction of Phase I - New Community Center and Phase II – Renovation/Expansion of the existing Library
- All related site and building plan applications be processed expeditiously

Supervisor Storck further moved that the Board authorize the following individuals to act as agents on the Board's behalf, for all actions associated with these applications:

- Bryan J. Hill, County Executive

## Attachment 2 – Board Matter and Resolution dated January 25, 2022



**FAIRFAX COUNTY  
BOARD OF SUPERVISORS  
January 25, 2022**

**AGENDA**

9:30	<b>Done</b>	<a href="#">Presentations</a>
9:30	<b>Done</b>	<a href="#">Presentation of the Don Smith Award</a>
9:30	<b>Adopted Report #1</b>	<a href="#">Report on General Assembly Activities</a>
9:30	<b>Done</b>	<a href="#">Board Organization and Appointments of Board Members to Various Regional and Internal Boards and Committees</a>
9:30	<b>Done with amendment</b>	<a href="#">Board Appointments to Citizen Boards, Authorities, Commissions, and Advisory Groups</a>
10:00	<b>Approved</b>	<a href="#">Public Hearing on the <i>FY 2022 Mid-Year Review</i> to Amend the Appropriation Level in the <i>FY 2022 Revised Budget Plan</i></a>
10:00	<b>Done</b>	<a href="#">Matters Presented by Board Members</a>
10:00	<b>Done</b>	<a href="#">Items Presented by the County Executive</a>

**ADMINISTRATIVE  
ITEMS**

1	<b>Approved</b>	<a href="#">Approval of Traffic Calming Measures as Part of the Residential Traffic Administration Program – Bowling Green Drive (Providence District)</a>
2	<b>Approved</b>	<a href="#">Approval of “\$200 Additional Fine for Speeding” Signs as Part of the Residential Traffic Administration Program – Torrence Street (Springfield District)</a>
3	<b>Approved</b>	<a href="#">Authorization to Advertise Comprehensive Plan and Zoning Ordinance Amendments and a Board-Initiated Rezoning to Consider Establishing Boundaries and Regulations for a Hollin Hills Historic Overlay District (Mount Vernon District)</a>
4	<b>Approved</b>	<a href="#">Approval of “\$200 Additional Fine for Speeding” Signs as Part of the Residential Traffic Administration Program – Fort Hunt Road (Mount Vernon District)</a>
5	<b>Approved</b>	<a href="#">Proposed Addition of a Portion of Edmund Halley Drive to the Secondary System of State Highways (Hunter Mill District)</a>
6	<b>Approved</b>	<a href="#">Approval of Traffic Calming Measures as Part of the Residential Traffic Administration Program – Bangor Drive and Fairhaven Avenue (Mount Vernon District)</a>

ADMINISTRATIVE - 3

Authorization to Advertise Comprehensive Plan and Zoning Ordinance Amendments and a Board-Initiated Rezoning to Consider Establishing Boundaries and Regulations for a Hollin Hills Historic Overlay District (Mount Vernon District)

ISSUE:

The establishment of the proposed Hollin Hills Historic Overlay District (HOD) requires Planning Commission and Board of Supervisors consideration of a Comprehensive Plan Amendment to reflect the HOD designation in the Comprehensive Plan, a Zoning Ordinance text amendment to establish the regulations applicable to the proposed Hollin Hills HOD, and a rezoning (zoning map amendment) to establish the proposed boundaries of the Hollin Hills HOD. A Board resolution is required to authorize advertisement of the public hearings during which these amendments, including the rezoning will be considered. The Comprehensive Plan Amendment was previously authorized by the Board on [July 31, 2018](#). If considered, the amendments will proceed concurrently for public hearings.

RECOMMENDATION:

The County Executive recommends the Board adopt the Resolution set forth in Attachment 1.

TIMING:

Board action is requested on January 25, 2022, to provide sufficient time to advertise public hearings for the Comprehensive Plan Amendment, Zoning Ordinance text amendment, and the rezoning before the Planning Commission on February 23, 2022, at 7:30 p.m., and before the Board of Supervisors on March 8, 2022, at 4:00 p.m.

BACKGROUND:

The Hollin Hills Subdivision in the Mount Vernon District was one of the first planned developments of contemporary architecture in the Washington metropolitan area, and one of the earliest subdivisions of its type in Virginia. The neighborhood was developed between 1949 and 1971. The proposed Hollin Hills HOD includes 493 separate properties, most developed with single-family residential dwellings zoned R-2. Other properties within the Hollin Hills HOD are owned by the Civic Association of Hollin Hills, the Fairfax County Park Authority and the Board of Supervisors. The neighborhood was

Board Agenda Item  
January 25, 2022

listed on the County Inventory of Historic Sites on September 12, 1972 and was listed in the National Register of Historic Places on September 30, 2013.

The Board directed staff to evaluate the establishment of a Hollin Hills HOD on [July 31, 2018](#), citing Hollin Hills' important architectural and site design significance as a unique type of community development in Fairfax County. Since that time, staff conducted research and site visits to document the current condition of each dwelling in the neighborhood and any modifications made to the original structures using photographs taken from the street. Staff also conducted community outreach meetings and collaborated with a community work group comprised of Hollin Hills property owners, members of the Architectural Review Board, and members of the Fairfax County History Commission for input on the proposed Hollin Hills HOD. Draft text of the Zoning Ordinance amendment and a draft copy of the design guidelines were also shared multiple times with the work group and the greater Hollin Hills community in January 2021 and in August 2021 to gather feedback on the proposal. Staff outreach to the community sought input on the creation and analysis of the potential Hollin Hills HOD including the proposed district boundary, the proposed provisions to be included in the Zoning Ordinance, and recommendations to be included in the proposed design guidelines.

This Board Item seeks Board approval of a resolution to initiate and authorize advertisement of amendments to the Comprehensive Plan and Zoning Ordinance text and map (including a rezoning) to establish a Hollin Hills HOD. A staff report with more detailed discussion on the proposed Comprehensive Plan amendment text, the proposed Zoning Ordinance amendment text, , and rezoning will be published on the [County's website](#) in early February of 2022, providing sufficient time for additional community input prior to the public hearing dates for Planning Commission on February 23, 2022, and the Board on March 8, 2022.

FISCAL IMPACT:

There is no fiscal impact associated with this action.

ENCLOSED DOCUMENTS:

Attachment 1 – Resolution

Attachment 2 – Board Matter from July 31, 2018



Board Agenda Item  
January 25, 2022

STAFF:

Rachel Flynn, Deputy County Executive  
Leslie B. Johnson, Zoning Administrator, DPD  
Leanna Hush O'Donnell, Director, Planning Division, DPD  
Tracy D. Strunk, Director, Zoning Evaluation Division, DPD  
Laura B. Arseneau, Branch Chief, Heritage Resources and Plan Development, DPD  
William Mayland, Deputy Zoning Administrator, DPD  
Catherine Lewis, Branch Chief, Zoning Evaluation Division, DPD  
Lily Yegazu, Principal Planner, Zoning Administration Division, DPD

ASSIGNED COUNSEL:

Cherie L. Halyard, Assistant County Attorney

**RESOLUTION**

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium of the Government Center Building, Fairfax, Virginia, on January 25, 2022, at which meeting a quorum was present and voting, the Board of Supervisors adopted the following resolution:

**WHEREAS**, the Hollin Hills neighborhood in Mount Vernon District was one of the first planned developments of contemporary architecture in the Washington metropolitan area, and was developed between 1949 and 1971; and

**WHEREAS**, the Hollin Hills neighborhood was listed on the County Inventory of Historic Sites on September 12, 1972, and was listed in the National Register of Historic Places on September 30, 2013; and

**WHEREAS**, it is appropriate for the County to consider the establishment of a Historic Overlay District (“HOD”) for Hollin Hills, due to its historic, cultural, and architectural significance in Fairfax County; and

**WHEREAS**, on July 31, 2018, the Board directed staff to prepare a report to evaluate the proposal to create a Hollin Hills HOD and, if recommended by the report, to initiate an amendment to the Fairfax County Comprehensive Plan and Zoning Ordinance (Chapter 112.1 of the County Code) to establish and create the boundaries of a HOD in the Hollin Hills neighborhood; and

**WHEREAS**, by adoption of this Resolution, the Board directs staff to prepare, and advertise public hearings on a proposed amendment to the Comprehensive Plan as well text and map amendments to the Zoning Ordinance, to include a Board-initiated rezoning, to establish boundaries and regulations for a Hollin Hills HOD along with appropriate use regulations; and

**WHEREAS**, the public necessity, convenience, general welfare, and good zoning practice require consideration of proposed amendments to the Comprehensive Plan and the Zoning Ordinance text and map; and

**NOW THEREFORE BE IT RESOLVED**, for the foregoing reasons and for the reasons stated in the January 25, 2022, Board Item and the July 31, 2018, Board matter and motion, the Board of Supervisors authorizes the advertisement of the public hearings during which the Planning Commission and the Board will consider the proposed Comprehensive Plan and Zoning Ordinance amendments, including a Board-initiated rezoning. The Board further authorizes the County Executive, Bryan J. Hill, or his designee, to act as agent for the County for all matters concerning these amendments.

A Copy Teste:

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Jill G. Cooper  
Clerk for the Board of Supervisors

43. **POSSIBLE ESTABLISHMENT OF A HOLLIN HILLS HISTORIC OVERLAY DISTRICT (MOUNT VERNON DISTRICT)** (1:12 p.m.)

Supervisor Storck said that the Hollin Hills Subdivision in the Mount Vernon District was the first planned development of modern architecture in the Washington Metropolitan area and one of the earliest subdivisions of its type in Virginia. Developed between 1949 and 1971, the 326-acre residential neighborhood has 463 single family dwellings. The subdivision was listed as a historic district in the County Inventory of Historic Sites on September 12, 1972, and was listed in the National Register of Historic Places on September 30, 2013. The National Register map is attached to his written Board Matter for reference.

Supervisor Storck noted that Charles Goodman served as the architect for the vast majority of the houses, with developer and builder Robert Davenport designing two models. Landscape designer Lou Bernard Voigt, followed by Daniel Urban Kiley and Eric Paepcke, provided amenable property owners with a plan that harmonized the contours of the land and highlighted each building's individual design and siting.

The National Register nomination notes that Hollin Hills was “a true experimental laboratory for an architect who sought to create a diversity of architectural expression that honors both the land and its residents.” Hollin Hills provided a low-cost way to offer high-quality housing to broad populations; blurred the traditional relationship between indoors and out; tested the potentialities of natural setting and modular construction; and explored the freedom of the open floor plan.

Supervisor Storck expressed his belief that it is appropriate for the County to consider the establishment of a Hollin Hills Historic Overlay District (HD) due to its important architectural and land design significance to the character of Fairfax County.

Therefore, Supervisor Storck moved that the Board direct staff to evaluate the establishment of a Historic Overlay District for Hollin Hills, which will include but is not limited to the following:

- As required by Paragraph 3 of Section 7-203 of the Zoning Ordinance (ZO), prepare a written report and ensure that the resultant report is coordinated with all appropriate Boards, Authorities, and Commissions
- Initiate an amendment to the ZO to establish the Historic Overlay District, if recommended by the report. This amendment should be added as a Priority 1 item to the ZO Amendment Work Program
- Prepare an amendment to the Comprehensive Plan for any map and text changes that may result from this process

- Initiate a Board's own rezoning to create the boundaries of the district, if such is recommended by the report

Chairman Bulova seconded the motion and it carried by unanimous vote.

44. **CONCURRENT PROCESSING OF SPECIAL EXCEPTION AMENDMENT AND 2232/FEAURE SHOWN TO PERMIT THE DEVELOPMENT OF THE LORTON COMMUNITY CENTER (MOUNT VERNON DISTRICT)** (1:16 p.m.)

Supervisor Storck said that the new Lorton Community Center was approved as part of the Human Services and Community Development Bond Referendum in November, 2016. The facility will include space for the Lorton Community Action Center (LCAC), as the Murphy House/trailer currently used by the LCAC will be demolished, and the Lorton Senior Center, is currently operating in leased space. The site for the Lorton Community Center has been identified adjacent to the Lorton Community Library at 9518 Richmond Highway, which is located at Tax Map 107-4 ((1)) 34. This long-anticipated facility will provide a broad array of services, programs and activities for individuals of all ages and abilities throughout the community and complement the services provided by the adjacent Lorton Community Library. It is anticipated by the residents of the Mount Vernon District, especially in this rapidly changing corridor.

County staff is currently finalizing the schematic designs for the new community center building and related site work.

Therefore, Supervisor Storck moved that the Board initiate the following concurrent processing:

- A Board's Own Motion Special Exception Plan Amendment for the Lorton Community Action Center
- The determination under Section 15.2-2232 of the Code of Virginia to facilitate the construction of Phase I - New Community Center and Phase II – Renovation/Expansion of the existing Library
- All related site and building plan applications be processed expeditiously

Supervisor Storck further moved that the Board authorize the following individuals to act as agents on the Board's behalf, for all actions associated with these applications:

- Bryan J. Hill, County Executive



# **STAFF REPORT**

## **Zoning Ordinance Amendment**

**February 2, 2022**

**Authorization: January 25, 2022**  
**Planning Commission: February 23, 2022, at 7:30 p.m.**  
**Board of Supervisors: March 8, 2022, at 4:00 p.m.**

**Staff Contact**  
**Lily Yegazu, Principal Planner**  
**DPD-ZAD**



**12055 Zoning Administration Division**  
Government Center Parkway, Suite 807  
Fairfax, VA 22035  
Phone: 703-324-1314  
[www.fairfaxcounty.gov/planning-development](http://www.fairfaxcounty.gov/planning-development)

## Background

The proposed Zoning Ordinance Amendment is listed on the FYs 2022/2023 Zoning Ordinance Amendment Work Program (ZOAWP) as item 5A under Historic Overlay Districts (HODs). The item was added to the ZOAWP after the Board directed staff, on [July 31, 2018](#), to evaluate the establishment of a potential Hollin Hills Historic Overlay District (HOD).

On January 25, 2022, the Board authorized by resolution advertisement of the Zoning Ordinance and Comprehensive Plan amendments, as well as a Board-initiated Rezoning to consider establishing boundaries and regulations for a Hollin Hills Historic Overlay District. A copy of the Board Resolution is available as Attachment 2.

As one of several components required to establish a potential Hollin Hills HOD, the proposed Zoning Ordinance amendment would create new regulations with emphasis on the protection of existing features of historic significance, such as the architectural character of contributing properties identified in the neighborhood, the visual relationship between residences and the surrounding landscape, and the structures' siting on each parcel. This analysis meets [subsection 3101.3.B\(8\)](#) of the Zoning Ordinance that states:

- (8) Recommendations concerning detailed regulations for the district to prevent changes that are architecturally incompatible with the buildings, structures, or sites to be preserved. Recommendations may include:
  - (a) Permitted and prohibited principal and accessory uses and structures;
  - (b) Use standards;
  - (c) Bulk regulations;
  - (d) Lot size requirements;
  - (e) Performance standards;
  - (f) Off-street parking and loading requirements;
  - (g) Standards for signs, outdoor lighting, and landscaping and screening;
  - (h) Standards for the exterior character of buildings and sites that are visible from a public right-of-way; and
  - (i) Standards for control of, additions to, or removal of existing buildings when the regulations prevent changes that are architecturally incompatible with preserved buildings, structures, or sites.

These regulations would also propose certain standards found to be compatible with the potential Hollin Hills HOD as outlined above while allowing for improvements and alterations consistent with the recommendations found in the draft Design Guidelines (Attachment 12). The draft Zoning Ordinance text is available at the end of this staff report (Appendix 1).

## Current Zoning Ordinance Provisions

Currently, there are 14 HODs established within Fairfax County that are protected by specific Zoning Ordinance provisions. These provisions are contained in [Section 3101](#) of the Zoning Ordinance. [Subsection 3101.3](#) contains the requirements for establishing an HOD. Under these

requirements, a report must be prepared by the Department of Planning and Development (DPD) in cooperation with the Architectural Review Board (ARB) and the History Commission (HC). Further the proposal to establish the HOD and such report must be submitted to the Planning Commission and the Board. The report must also identify the potential HOD boundaries as well as the architectural, archeological, or cultural significance of buildings, structures, or sites to be protected, and describe present trends, conditions, and desirable public objectives for preservation. These requirements are fully addressed in the Potential Hollin Hills HOD Study Report (Study Report), found at the beginning of this report.

Subsections [3101.6](#) and [8103.4](#) of the Zoning Ordinance authorize the ARB to review and approve applications for building, demolition, and sign permits associated with any property located within an HOD. Certain minor alterations such as re-roofing or re-siding of non-contributing buildings with like materials that are compatible to the original material are exempt from ARB review. Additionally, interior alterations and alterations that are not visible from the public right-of-way or from a contributing or historic property within an HOD are also exempt from ARB review and approval under the current Zoning Ordinance. Other improvements or alterations that do not require building permits such as installation of a fence, re-painting, and minor repairs of structures are also not subject to ARB review unless these alterations are proposed as part of a project for which a building permit is required.

The ARB's authority is mostly advisory under [subsection 3101.6.B](#) of the Zoning Ordinance and is limited to reviewing and making recommendations on certain zoning applications such as rezonings, special exceptions, special permits, and variances as well as site plans, subdivision plats (except when review and approval is expressly required<sup>24</sup>), grading plans (except when review and approval is expressly required) and sports illumination plans. As such, with the establishment of the potential Hollin Hills HOD, demolition, new construction, additions, and alterations that require a building or sign permit within the potential HOD would be subject to ARB review and/or approval, except for the minor alterations mentioned above.

## Proposed Changes

Discussions with the Hollin Hills Work Group and the greater community, identified potential adverse effects resulting from the demolition or partial demolition of contributing structures, and replacement with or addition of new incompatible construction, pools or fences proposed in the neighborhood.<sup>25</sup> These potential adverse effects could be addressed through the addition of use and development standards applicable to the potential Hollin Hills HOD in the Zoning Ordinance or through the implementation of the recommendations that are included in the draft Design Guidelines.

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<sup>24</sup> Zoning Ordinance subsection 3101.6.B(1).

<sup>25</sup> For more information about potential adverse effects including the definition see the "Defining Adverse Effects" section in the Study Report.

In determining whether there should be specific standards applicable to the potential Hollin Hills HOD contained in the Zoning Ordinance or whether such standards would be more appropriate to be included in the Design Guidelines, staff reviewed the lot and building dimensional standards in the underlying zoning district, such as building height and setbacks, as well as the standards for fences. Staff also reviewed the list of permitted uses in the underlying zoning district. Based on this review, staff proposes to include only additional building height limitations to the potential Hollin Hills HOD, while maintaining the remaining standards and uses currently applicable in the underlying zoning districts, as fully detailed below:

- ❖ **Building Height:** Most of the properties within the potential Hollin Hills HOD are zoned [R-2](#) (Residential 2 dwelling units per acre), with a few properties along the edge of the proposed HOD zoned [R-1](#) (Residential, 1 dwelling unit per acre) and [R-4](#) (Residential 4 dwelling units per acre). Table 2102.5 in the Zoning Ordinance for the R-2 currently limits the building height of principal structures (new construction and additions) to a maximum of 35 feet for single-family dwellings and 60 feet for all other principal structures. Further the maximum height limit for enclosed accessory structures like sheds, gazebos, and detached garages is 20 feet in accordance with subsection 4102.7.A(6)(c) of the Zoning Ordinance. As fully detailed in the Study Report, the Hollin Hills neighborhood is an established and mostly built-out neighborhood, developed primarily with one-and two-story single-family dwellings. A few parcels not developed with single-family dwellings within the potential Hollin Hills HOD boundary include public parks and private recreational areas, as well as a vacant lot.

The Hollin Hills neighborhood was strategically designed with each single-family dwelling thoughtfully built into the natural sloped landscape to minimize the appearance of bulk. To help preserve the existing scale and massing of the neighborhood, staff proposes to limit the building height of all principal structures (single-family dwellings and all other principal structures) within a potential Hollin Hills HOD to 35 feet. Staff does not propose to change the maximum building height limit for enclosed accessory structures, which are not permitted to be in the front yard on lots that are 36,000 square feet or less in size. All enclosed accessory structures will be subject to the maximum 20-foot height limitation, unless the ARB recommends a lesser height. In conjunction with the design recommendations proposed in the draft Design Guidelines, this upper limit on the building height of principal structures will ensure future construction or additions to the principal structure either by-right or with a special permit or special exception approval, will be compatible and in keeping with the existing massing and scale of the contributing structures and the overall character of the neighborhood. The proposed height limit will help protect the characteristics of the neighborhood, including the visual relationship between structures, the relationship of the structures with the existing topography, and the surrounding landscape.

- ❖ **Fences:** [Subsection 4102.7.A\(7\)\(b\)](#) of the Zoning Ordinance limits the height of fences and walls to 4 feet in the front yard, and 7 feet in the side and rear yards. Fences up to 6 feet may be permitted in the front yard with special permit approval. The ARB would be able to provide advisory recommendations as part of the special permit review. Otherwise, ARB



review of fences is not required since fences do not typically require building permits. A building permit is required only if a fence is required in association with the construction of a retaining wall or when used as a barrier for a swimming pool; or for concrete or masonry walls 6 feet or greater in height and retaining walls with more than 3 feet of unbalanced fill, which would trigger ARB review. As fully detailed in the Study Report, the visual impact of property line fences was raised and discussed with the Hollin Hills Work Group and at the community meetings. Given that the neighborhood was developed with structures intentionally sited on the property to enhance “privacy and shared vistas,”<sup>26</sup> staff considered the appropriateness and practicality of including additional standards in the Zoning Ordinance to limit or prohibit fences in the front yard or in all yards. Staff also recognizes that the neighborhood has evolved from its original design with the introduction of additions and new larger structures that potentially alter the visual relationship envisioned in the original design, which may warrant the need for additional privacy or screening for some of the altered properties and those adjacent to them. To maintain the ability of property owners to install privacy or property line fences, staff is not proposing to include additional Zoning Ordinance standards related to fences. In staff’s opinion, the existing standards related to fence height and location in the Zoning Ordinance will help alleviate the fences as potential adverse effects. Additionally, the location and the style of fencing within the HOD are more appropriately addressed through the recommendations included in the draft Design Guidelines, which include recommended size, location, and style of fences. Consistent with the other existing HODs, staff proposes that fences and any other improvements or additions—including any structure, sign, street furniture, outdoor graphic, and public and private utility—be in substantial conformance with the Design Guidelines for the Hollin Hills Historic Overlay District (once adopted by the ARB) and be designed to be compatible with the architectural and character-defining features of the neighborhood.

- ❖ **Uses:** Staff also evaluated the existing uses currently permitted by-right, by special permit, and by special exception in the underlying zoning districts to determine what uses would be inappropriate in the proposed Hollin Hills HOD. The uses currently permitted by-right in the underlying zoning district include single-family detached dwellings, public uses, and accessory uses. As the Hollin Hills neighborhood is an established single-family residential neighborhood with the majority of the 492 parcels developed with one- or two-story, detached single family dwellings, staff proposes to continue allowing all those uses currently permitted by-right. Additionally, the proposed amendment will continue to allow all special permit and special exception uses, including certain uses which may be approved as an [Alternative Use of Historic Buildings](#), subject to ARB review and Board of Zoning Appeals or Board approval as applicable.

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<sup>26</sup> Trieschmann, Laura V, Andrea F. Schoenfeld and Jere Gibber. "Hollin Hills Historic District." National Register of Historic Places Inventory/Nomination Form. EHT Traceries, March 12, 2013, Section 7, page 60.

## Summary

As outlined in the Hollin Hills HOD Study Report, staff recommends that the Board establish the Hollin Hills HOD to ensure the continuance, conservation, and improvement of the Hollin Hills neighborhood. The establishment of the potential HOD will help prevent potential adverse effects to the Hollin Hills neighborhood and ensure that proposed new structures and additions proposed within the potential HOD are compatible and consistent with, and will preserve and enhance, the character-defining features of the contributing structures and district. Staff recommends approval of the proposed amendment language with an effective date of 12:01 AM on the day following adoption.

## Appendix

### Appendix 1 – Proposed Text

This proposed Zoning Ordinance amendment is based on the Zoning Ordinance in effect as of February 2, 2022. There may be other proposed amendments that could affect some of the numbering, order or text arrangement of the paragraphs or sections set forth in this amendment. If any such other amendment is adopted before this amendment, any necessary renumbering or editorial revisions will be administratively incorporated by the Clerk in the printed version of this amendment following Board adoption. In the revisions shown below, text to be deleted is identified with ~~strike-through~~ and text to be added is underlined.

**INSTRUCTION: Amend Section 3101 by adding new subsections 11. Hollin Hills Historic Overlay District and renumber all subsequent affected subsections.**

## Article 3 – Overlay and Commercial Revitalization Districts

### 3101. Historic Overlay Districts

#### 11. Hollin Hills Historic Overlay District

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##### A. District-Specific Purpose

In addition to the purpose for HODs as stated in subsection 3101.1, the Hollin Hills Historic Overlay District is created to protect against destruction of the Hollin Hills neighborhood; to encourage development standards which will lead to its continuance, conservation, and improvement; to prevent creation of environmental influences adverse to these purposes; and to assure that new structures, additions and uses within the district will be in keeping with the character to be preserved and enhanced.

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##### B. Permitted, Special Exception, and Special Permit Uses

All uses permitted by right, special exception and special permit in the underlying zoning districts.

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##### C. Additional Standards

Any new improvement and addition—including any structure, sign, fence, street furniture, outdoor graphic, and public and private utility—must be in substantial conformance with adopted Design Guidelines for the Hollin Hills Historic Overlay District and must be designed to be compatible with the architectural and character-defining features of the neighborhood.

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##### D. Building Height

Maximum: 35 feet for all principal structures

**STAFF REPORT**  
**PLAN AMENDMENT 2018-IV-MV4**  
**(PA 2020-00015)**

**February 2, 2022**

**Planning Commission: February 23, 2022, at 7:30 p.m.**  
**Board of Supervisors: March 8, 2022, at 4:00 p.m.**

**Staff Contact**  
**Laura Arseneau, AICP**  
**Heritage Resources and Plan Development Branch Chief**  
**DPD-PD**



**Planning Division**  
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## PROPOSED COMPREHENSIVE PLAN AMENDMENT

ITEM: PA-2020-00015/PA 2018-IV-MV4  
February 2, 2022

**GENERAL LOCATION:** South of Paul Spring Road, west of Fort Hunt Road, generally north of Sherwood Hall Lane and east of Rebecca and Elba Streets.

**SUPERVISOR DISTRICT:** Mount Vernon

**PLANNING AREA:** Area IV

**PLANNING DISTRICT:** Mount Vernon

**SPECIAL PLANNING AREA:** MV5 - Groveton

**PARCEL LOCATION:** See Attachment #10

**PLANNING COMMISSION PUBLIC HEARING:**  
Wednesday, February 23, 2022 @ 7:30 P.M.

**BOARD OF SUPERVISORS PUBLIC HEARING:**  
Tuesday, March 8, 2022 @ 4:00 P.M.

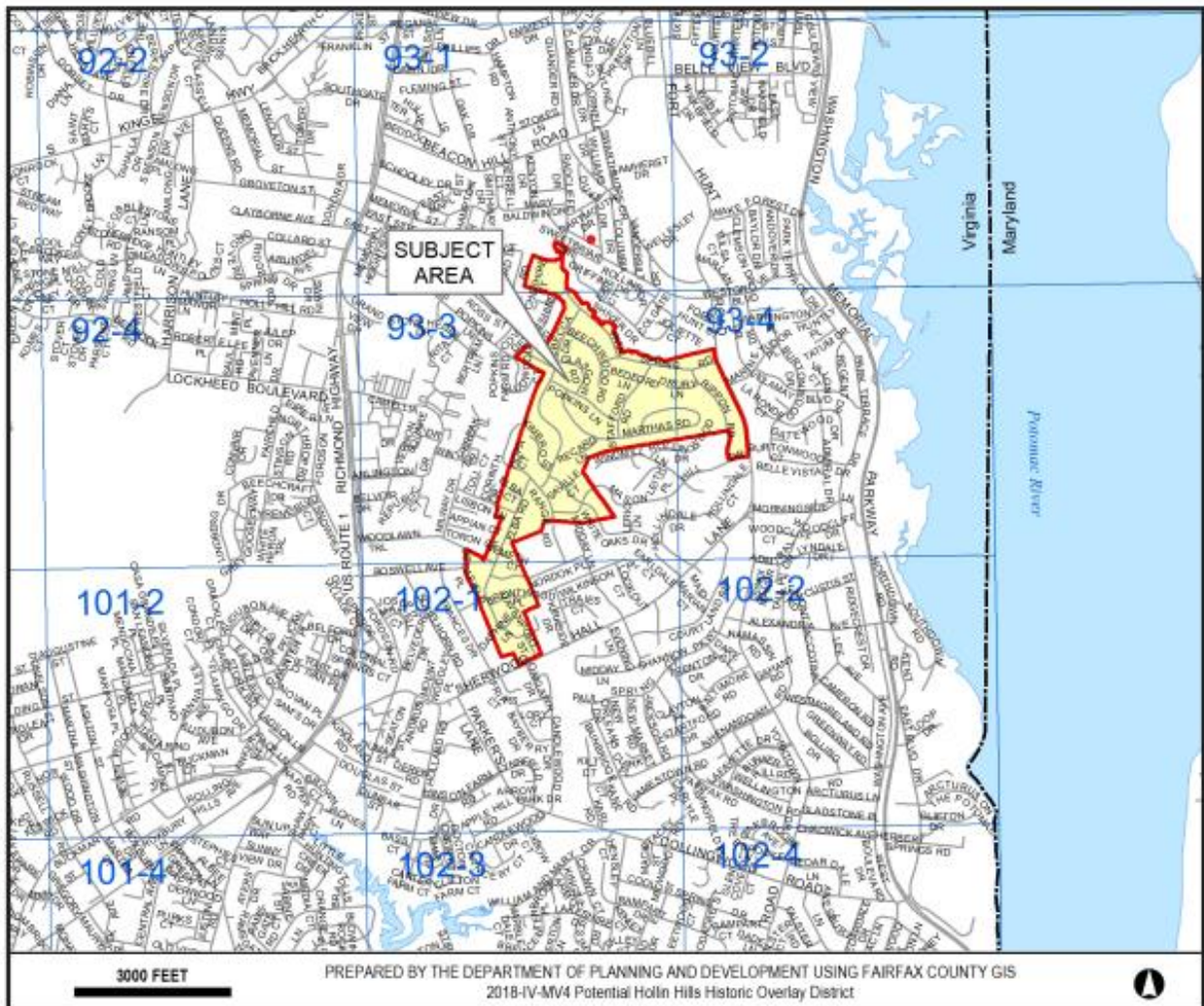
**PLANNING STAFF DOES RECOMMEND  
THIS ITEM FOR PLAN AMENDMENT**

Hollin Hills Historic Overlay District

For additional information about this amendment call (703) 324-1380.

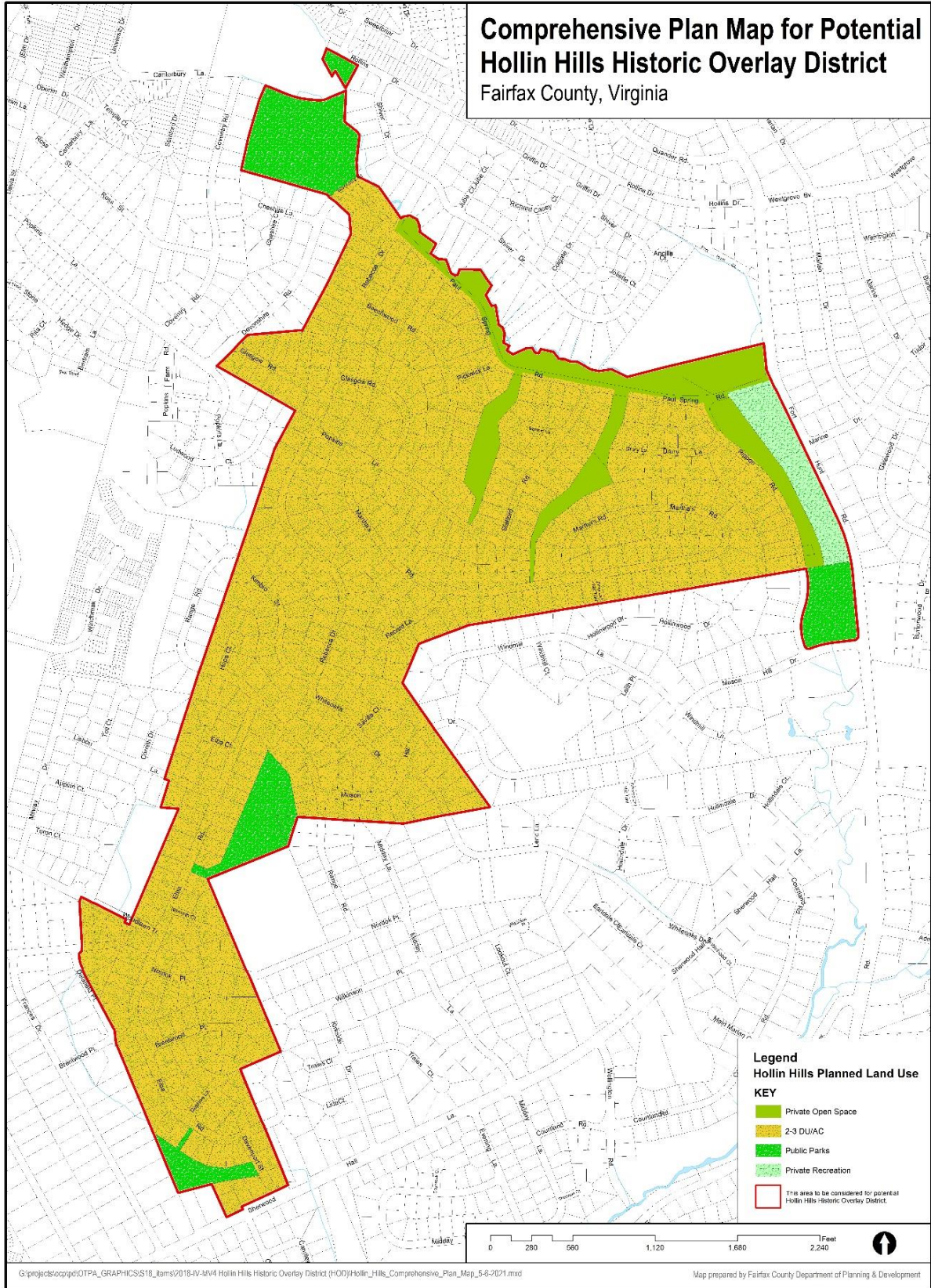


Reasonable accommodation is available upon 48 hours notice. For additional information about accommodation call the Planning Commission office at (703) 324-2865, or the Board of Supervisors office at (703) 324-3151.





# Comprehensive Plan Map for Potential Hollin Hills Historic Overlay District Fairfax County, Virginia



## Background

On July 31, 2018, the Board authorized staff to evaluate the establishment of a potential Hollin Hills HOD as discussed in the Potential Hollin Hills HOD Study Report. A review of the Comprehensive Plan guidance for the property and potential updates to that guidance are included as part of the analysis.

The Comprehensive Plan Map identifies the majority of the properties within the potential Hollin Hills HOD as planned for residential at 2-3 dwelling units per acre (du/ac), with additional properties identified as planned for public parks, private recreation, and private open space.

The study area is located in the Area IV Volume of the Fairfax County Comprehensive Plan, 2017 Edition, Mount Vernon Planning District, Amended through 7-27-2021, in the MV5- Groveton Community Planning Sector.

## Recommendation

Staff recommends the Comprehensive Plan be modified as shown below. Text proposed to be added is shown as underlined and text proposed to be deleted is shown with a ~~strike through~~.

There are no proposed changes to the planned land uses for the properties within the potential Hollin Hills HOD. The majority of the Hollin Hills neighborhood is recommended to remain as currently planned for residential use at 2-3 du/ac, except for properties that are currently planned for public parks, private recreation, and private open space. Those designations will also remain in place.

### Modify Figure:

Fairfax County Comprehensive Plan, 2017 Edition, Area IV, Mount Vernon Planning District, Amended through 7-27-2021, Overview, Heritage Resources, Figure 3: Mount Vernon Planning District Inventory of Historic Sites (Inventory as of February 7, 2018), page 9, so that the reference to the Historic Overlay District (“H”) is added after the existing Hollin Hills “N” and “V” listings that designate the National Register of Historic Places and Virginia Landmarks recognition.

### Modify Figure:

Fairfax County Comprehensive Plan, 2017 Edition, Area IV, Mount Vernon Planning District, Amended through 7-27-2021, Overview, Heritage Resources, Figure 4: Inventory of Historic Sites, Mount Vernon Planning District, General Locator Map, page 12, so that the boundary of the Hollin Hills Inventory of Historic Sites is updated to match the new boundary of the proposed Hollin Hills Historic Overlay District.

**Modify:** Fairfax County Comprehensive Plan, 2017 Edition, Area IV, Mount Vernon Planning District, Amended through 7-27-2021, MV5-Groveton Community Planning Sector, starting on page 80:

## “CHARACTER

The Groveton Community Planning Sector is generally bordered by Beacon Hill Road, Fort Hunt Road, Sherwood Hall Lane, and Richmond Highway (Route 1). Portions of the Beacon/ Groveton and Hybla Valley/Gum Springs Community Business Centers (CBCs) are located on the east side of Richmond Highway. Plan recommendations for these CBCs can be found in the Richmond Highway Corridor Area section of the Area IV Volume of the Plan.

Single-family detached units represent the major land use within this planning sector. A sizable mobile home park and a large apartment development are located in this planning sector as well. The planning sector also contains Mount Vernon District Park. There is an urgent need for community parkland in the western portion of the sector.

The planning sector contains the northern portion of Gum Springs, a 19<sup>th</sup> century Free Black community, and the Hollin Hills subdivision. ~~and the Hollin Hills subdivision, an excellent example of post-World War II suburban architectural design. Hollin Hills is a significant heritage resources which is listed in the Fairfax County Inventory of Historic Sites. The Hollin Hills neighborhood is an example of a post-World War II suburban development with exceptional contemporary architectural design and site development, and is recognized as a heritage resources as the Hollin Hills Historic Overlay District and through listing on the County Inventory of Historic Sites.~~

A list and map of heritage resources are included in the Mount Vernon Planning District Overview section, Figures 4 and 5. Additional historic sites in this sector, including Sherwood Farm, are also included in the inventory.”

**Modify:** Fairfax County Comprehensive Plan, 2017 Edition, Area IV, Mount Vernon Planning District, Amended through 7-27-2021, MV5-Groveton Community Planning Sector, starting on page 84:

### “Heritage Resources

The early and mid-20<sup>th</sup> century and more dispersed neighborhoods and open spaces in this sector may contain significant heritage resources. In particular is Gum Springs, 19<sup>th</sup> century Free Black community. The Pride of Fairfax, a Masonic Lodge and Community Landmark for Gum Springs, is located at Tax Map Parcel 102-1 ((1)) 98. It should be evaluated for potential inclusion on the Inventory of Historic Sites. Additional survey work should be undertaken to locate and preserve significant heritage resources. ~~Additionally, preservation of Hollin Hills subdivision, listed in The National Register of Historic Places, is encouraged.~~



The Hollin Hills Historic Overlay District (HOD) is located within this sector. The provisions and regulations regarding the Hollin Hills HOD are found in the Zoning Ordinance. All improvements should be designed and installed to be compatible with the scale and appearance of the character of the Hollin Hills HOD. Proposals within the historic overlay district must be reviewed by the Architectural Review Board as specified in the Historic Overlay District provisions of the Zoning Ordinance. If there appears to be a conflict between Plan text and the provisions of the Hollin Hills HOD, the overlay district regulations take precedence for the development of land within the Hollin Hills HOD.

Additionally, the Hollin Hills subdivision is listed on the Inventory of Historic Sites, the Virginia Landmarks Register and in the National Register of Historic Places.

Any development or ground disturbance in this sector, both on private and public land, should be preceded by heritage resource studies, and alternatives should be explored for the avoidance, preservation or recovery of significant heritage resources that are found. In those areas where significant heritage resources have been recorded, an effort should be made to preserve them. If preservation is not feasible, then, in accordance with countywide objectives and policies as cited in the Heritage Resources section of the Policy Plan, the threatened resource should be thoroughly recorded and in the case of archaeological resources, the artifacts recovered.”

## Comprehensive Land Use Plan Map

The Comprehensive Land Use Plan Map currently identifies the neighborhood as an Inventory of Historic Sites District with an “H.” The Comprehensive Plan Map should be amended to add the boundary for the Hollin Hills HOD as shown in Attachment 10.

## Countywide Transportation Plan Map

The Countywide Transportation Plan Map will not change.

## Countywide Trails Plan Map

The Countywide Trails Plan Map will not change.

# **STAFF REPORT**

## **REZONING APPLICATION**

### **RZ 2021-MV-00017**

**February 2, 2022**

**Application Accepted: January 28, 2022**  
**Planning Commission: February 23, 2022, at 7:30 p.m.**  
**Board of Supervisors: March 8, 2022, at 4:00 p.m.**

**Staff Contact**  
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**DPD-ZAD**



**Zoning Evaluation Division**  
12055 Government Center Parkway, Suite 801  
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Phone: 703-324-1290  
[www.fairfaxcounty.gov/planning-development](http://www.fairfaxcounty.gov/planning-development)

<b>APPLICANT:</b>	Board of Supervisors
<b>TAX MAPS:</b>	93-1, 93-3, 93-4 and 102-1 (492 parcels total- Complete List of Tax Map numbers provided in Attachment 10)
<b>ZONING:</b>	R-1, R-2, R-4
<b>ACREAGE:</b>	291.27 acres
<b>PLAN MAP:</b>	Residential at 2-3 dwelling units per acre Private Recreation, Private Open Space & Public Parks
<b>PROPOSAL:</b>	To rezone the properties to the potential Hollin Hills Historic Overlay District; the underlying residential zoning districts will not change.

### Staff Recommendations:

Staff recommends approval of RZ 2021-MV-00017.

It should be noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290 TTY 711 (Virginia Relay Center).

## Description of the Application

This rezoning application is part of the series of actions required to establish the boundaries of the potential Hollin Hills Historic Overlay District ([subsection 3101.3.D](#)). Since historic overlay districts (HODs) are zoning districts, the establishment of the HOD requires Board of Supervisors (Board) approval of a rezoning application to rezone parcels in the neighborhood into the potential Hollin Hills HOD and amend the Zoning map to create the boundaries of the HOD.

The purpose of creating the potential Hollin Hills HOD is to protect the Hollin Hills neighborhood against destruction; to encourage development standards that will lead to its continuance, conservation, and improvement; to prevent creation of environmental influences adverse to these purposes; and to ensure that new structures and uses within the district will be keeping with the character to be preserved and enhanced (in accordance with Zoning Ordinance [subsection 3101.1](#)).

Concurrent with the rezoning is a Zoning Ordinance Amendment to establish the HOD and its applicable zoning regulations, including the identification of the uses and standards applicable to the potential Hollin Hills HOD and a Comprehensive Plan Amendment PA 2018-IV-MV4 to reflect the HOD designation.

## Location and Character

The Hollin Hills neighborhood, located in Alexandria, is comprised of 291.27 acres of land, and includes 492 parcels located within Tax Maps 93-1, 93-3, 93-4 and 102-1 in the Mount Vernon District. Specifically, there are 468 privately owned parcels, 15 parcels owned by the Civic Association of Hollin Hills, 8 parcels owned by the Fairfax County Park Authority and 2 properties owned by the Board of Supervisors. The proposed district area is mostly developed with single-family detached dwellings under private ownership. Most of the properties within the potential Hollin Hills HOD are zoned R-2 (residential, two dwelling units per acre), with a few properties along the edge of the proposed district zoned R-1 and R-4. The potential Hollin Hills HOD district is bounded to the north by single-family residential properties zoned R-4, to the east by single family residential properties zoned R-3, to the south by single-family residential properties zoned R-2 and R-3, and to the west by single-family residential properties zoned R-2 and R-3.

## Architectural Review Board (ARB) Review (Zoning Ordinance subsection 8103.4.C)

While the ARB plays an advisory role in most development review processes, specific ARB approval is required before the following may be issued or approved for property located within an HOD:

- Building Permits (issued by the Director, LDS) for the demolition, razing, relocation, or moving of any building or structure in an HOD.



- Building Permits (issued by the Director of Land Development Services (LDS)) for the erection, construction, reconstruction, or exterior rehabilitation, remodeling, alteration or restoration of any building or structure in an HOD, except as qualified below; and
- Sign Permits (issued by the Zoning Administrator) for the erection, alteration, refacing or relocation of any sign in an HOD;<sup>27</sup>

Further, ARB review and recommendation (not approval) is required before the following may be issued or approved for a property within an HOD:

- Rezoning, Special Exceptions, Special Permits and Variances that require approval by the Board
- Site Plans, subdivision plats (except when review and approval is expressly required), grading plans (except when review and approval is expressly required) issued by the Director, LDS
- Sports illumination plans<sup>28</sup>

Under the current Zoning Ordinance, the department of Planning and Development (DPD) staff has the authority to review and approve building permits on the ARB's behalf in the following circumstances:

- (a) For the construction, reconstruction, or exterior rehabilitation, remodeling, alteration, or restoration of:
  - 1. Non-contributing buildings and structures or for accessory structures; and
  - 2. When the proposed development is neither adjacent to nor visible from:
    - a. A contributing or historic property; or
    - b. A major thoroughfare, scenic byway, or road listed or determined to be eligible for listing in the National Register;
- (b) For re-roofing or re-siding of non-contributing buildings or structures, when the replacement roofing or siding is similar in color, material, and texture to that which is being replaced; or
- (c) For signs previously approved by the ARB as part of a larger property-wide sign plan.<sup>29</sup>

Changes not requiring a building permit, including painting and minor repairs, are not subject to ARB review unless part of a larger project for which a building permit is required. With the establishment of the potential Hollin Hills HOD, the ARB review provisions would apply to all new developments or alterations in the district.

The ARB and History Commission (HC) have been involved in the review and analysis of the potential Hollin Hills HOD, as required by the Zoning Ordinance. The determinations of the ARB and HC will be provided to the Planning Commission and the Board under separate cover.

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<sup>27</sup> Zoning Ordinance subsection 8103.4.C(1)

<sup>28</sup> Zoning Ordinance subsections 8103.4.C(2) and (3)

<sup>29</sup> Zoning Ordinance subsection 3101.6(3)

## Analysis

No land use, transportation, or environmental impacts are associated with this application since the rezoning of property to an HOD does not change the underlying zoning but makes the property subject to the HOD provisions and ARB review, as discussed above.

Staff has provided an analysis and justification for the creation of the historic overlay district in the *Staff Report on the Potential Hollin Hills Historic Overlay District* found at the beginning of this report.

## Zoning Ordinance Provisions

[Subsection 3101.3](#) of the Zoning Ordinance contains specific requirements for creating or expanding an HOD. Pursuant to these requirements, the Department of Planning and Development (DPD), in cooperation with the ARB and HC, is required to prepare a report that evaluates the proposal to establish an HOD and such report must be submitted to the Planning Commission and the Board. The report must identify the HOD boundaries and the historic, architectural, or cultural significance of buildings, structures, or sites to be protected and describe present trends, conditions, and desirable public objectives for preservation. These requirements are fully addressed in the Potential Hollin Hills HOD Study Report. Furthermore, the companion Zoning Ordinance Amendment staff report contained in Attachment 3 that establishes the HOD proposes new standards applicable to all land in the potential Hollin Hills HOD for future by-right, special permit and special exception uses and development.

## Recommendations

Staff recommends approval of RZ 2021-MV-00017.

It should be noted that it is not the intent of the staff to recommend that the Board relieve the applicant(s)/owner(s) from compliance with the provisions of any applicable ordinance, regulations, or adopted standards; and that, should this application be approved, such approval does not interfere with, abrogate, or annul any easements, covenants, or other agreements between parties as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

## Appendix

1. Area Recommended for Proposed Establishment of Historic District is included in Attachment 9
2. Complete list of properties within the potential Hollin Hills HOD is included in Attachment 10

Attachment 6 – Zoning Ordinance subsection 3101 – Historic Overlay Districts and  
subsection 8103 – Architectural Review Board

# Article 3 - Overlay and Commercial Revitalization Districts

## 3100. General Provisions

### 1. Purpose

The districts in this Article are established to provide special regulations in designated areas of the County. These districts overlap and overlay other applicable underlying zoning districts, so that any parcel of land in an overlay or commercial revitalization district will also be in one or more underlying zoning districts established by this Ordinance in subsection 2100.1.

### 2. Establishment of Overlay Districts

The districts in this Article and amendments to those districts are established by the procedures in subsection 8100.2, for other zoning districts, unless otherwise qualified by the provisions of a particular district in this Article.

### 3. District Boundaries

The boundaries for the overlay and commercial revitalization districts are as established on the Official Zoning Map, except as further defined by the provisions of a particular overlay or revitalization district.

### 4. Permitted Uses, Special Exception Uses, and Special Permit Uses

All uses according to the underlying zoning district(s), unless expressly modified by an overlay or commercial revitalization district.

### 5. Additional Regulations and Standards

Lot size, bulk regulations, open space, and additional regulations are as specified in the underlying zoning district(s), unless expressly modified by an overlay or commercial revitalization district.

## 3101. Historic Overlay Districts

### 1. Purpose

Historic Overlay Districts (HODs) are created to promote the general welfare, education, economic prosperity, and recreational pleasure of the public through the identification, preservation, and enhancement of buildings, structures, neighborhoods, landscapes, places, and areas that have special historical, cultural, architectural, or archaeological significance as provided by state law, and that have been officially designated by the Board. Regulations within HODs are intended to protect against destruction of or encroachment upon those areas, structures, or premises; to prevent creation of environmental influences adverse to those purposes; and to encourage uses that will lead to their continuance, conservation, and improvement in accordance with the following purposes:



- A.** To preserve and improve the quality of life for residents of the County by protecting and preserving familiar visual elements in the district.
- B.** To promote heritage tourism by protecting heritage resources for visitors to the County that may support local business and industry.
- C.** To promote the rehabilitation and upkeep of significant structures and encourage appropriate land use planning and development that will enhance both the economic viability and historic character of the district.
- D.** To educate residents of the County about heritage resources and to encourage a sense of appreciation in this heritage.
- E.** To encourage local heritage resource identification and preservation efforts and the nomination of qualified properties for listing in the Fairfax County Inventory of Historic Sites, the Virginia Landmarks Register, and the National Register of Historic Places.
- F.** To prevent the encroachment of new buildings or structures and additions or attachments to existing structures that are architecturally incongruous with the visual and historic character of the district.
- G.** To ensure that new development and structures within the district are appropriate.

## 2. Districts

HODs are listed in the table below.

TABLE 3101.1: Historic Overlay Districts
Bull Run Stone Bridge
Centreville
Colvin Run Mill
Dranesville Tavern
Huntley
Lake Anne Village Center
Langley Fork
Mount Air
Pohick Church
Robey's Mill
St. Mary's Church
Sully
Woodlawn

## 3. Establishment of Districts

- A.** To establish an HOD, the Board must determine that the proposed district possesses historic, architectural, archaeological, or cultural significance. The property or properties comprising an HOD must meet one or more of the following criteria:
  - (1)** Be associated with events that have made a significant contribution to the broad patterns of our history;
  - (2)** Be associated with the lives of persons significant in our past;

- (3) Embody the distinctive characteristics of a type, period, or method of construction, represent the work of a master, possess high artistic values, or represent a significant and distinguishable entity whose components may lack individual distinction;
  - (4) Yield, or may be likely to yield, information important in prehistory or history;
  - (5) Possess information on, or represents any aspect of heritage considered important by a discrete population, ethnic group, or community;
  - (6) Serve, or have the potential to serve, as a focus of community identity and pride;
  - (7) Retain characteristics that are potentially useful in educating the public about the past and how it is studied; or
  - (8) Enable the exhibit and display of objects, ruins, or stabilized restored structures for public education and enjoyment.
- B.** The Department of Planning and Development, in cooperation with the ARB and the History Commission, must prepare and submit a report to the Planning Commission and Board evaluating the proposal to establish an HOD. The report must identify the proposed boundaries as well as the historic, architectural, archaeological, or cultural significance of buildings, structures, or sites to be protected, and describe present trends, conditions, and objectives for preservation. In addition, the report must include the following specific information, as applicable:
- (1) An analysis of current conditions including: ownership; existing and planned land use; existing zoning; access; existing structures by period of construction, architectural style, and condition; and matters relating to site conditions, such as building location, location of yards and other open spaces, and existing or planned off-street parking.
  - (2) A description of individual structures and premises of interest, with maps, photographs, and other data indicating the public importance of their preservation and the specific features to be preserved. Properties identified as historic, contributing, or non-contributing properties must all be identified.
  - (3) A description of existing structures, premises, and uses likely to have an adverse effect on the desired character of the district, including those near and visually related to the district, with maps, photographs, and other data indicating the reasons for the adverse effect.
  - (4) An analysis of the extent and historic significance of identified archaeological sites including general location maps, photographs, and other data indicating the importance of each site.
  - (5) The boundaries of the proposed HOD and the location of all historic, contributing, and non-contributing properties shown on the current Fairfax County Zoning Map, covering the area generally within a 500-foot radius of the proposed district.
  - (6) The boundaries of an HOD are based on an analysis that determines and describes the characteristics of the area that is to be preserved and enhanced. The boundaries may be drawn to include:
    - (a) A property or properties in which historic events have occurred;
    - (b) A property or properties that are heritage resources or contain noted heritage resources;
    - (c) A property or properties that have special cultural significance; or

- (d) A property or properties that have been identified as having important archaeological significance.
  - (7) Additional properties that may or may not possess historical significance individually may be included in the HOD as follows:
    - (a) A property or properties that are visually or historically related to the district;
    - (b) A property or properties that reflect the historic pattern of development of the district;
    - (c) A property or properties that relate to the social or economic character or architectural or archaeological interest of the district; or
    - (d) Lands closely related to and bearing upon the visual character of the district and that contribute to the historic context of the district.
  - (8) Recommendations concerning detailed regulations for the district to prevent changes that are architecturally incompatible with the buildings, structures, or sites to be preserved. Recommendations may include:
    - (a) Permitted and prohibited principal and accessory uses and structures;
    - (b) Use standards;
    - (c) Bulk regulations;
    - (d) Lot size requirements;
    - (e) Performance standards;
    - (f) Off-street parking and loading requirements;
    - (g) Standards for signs, outdoor lighting, and landscaping and screening;
    - (h) Standards for the exterior character of buildings and sites that are visible from a public right-of-way; and
    - (i) Standards for control of, additions to, or removal of existing buildings when the regulations prevent changes that are architecturally incompatible with preserved buildings, structures, or sites.
- C. The report for a request to amend an existing HOD may contain all or part of the information and requirements contained in subsection B above that are necessary to evaluate the request.
- D. As part of establishing an HOD, the Board must include a declaration that the buildings, structures, or sites to be preserved are of historical, architectural, archaeological, or cultural significance worthy of protection against destruction and encroachment, and must identify, where applicable, whether each property included in the district is contributing or non-contributing. The Board's action will amend the Zoning Map and include regulations and development policies that the Board deems necessary.

#### **4. Permitted, Special Exception, and Special Permit Uses**

- A. Uses permitted within an HOD are contained in the regulations for the individual HOD.
- B. The ARB will review and make recommendations on any application for a special exception or special permit use located in an HOD.

- C. No use permitted by right, special exception, or special permit will be permitted where the operational characteristics of the use would destroy, degrade, or encroach upon the character of the HOD as established.

## 5. Additional Standards

- A. Signs are permitted in accordance with the provisions of Article 7, and in accordance with any additional provisions that may be adopted for a particular HOD. However, any proposed sign that the ARB finds architecturally incompatible with the historical, architectural, or cultural character of the HOD will not be permitted, despite otherwise conforming to the applicable provisions of Article 7. In addition, unless further restricted in the specific HOD use standards, freestanding signs may not exceed ten feet in height.
- B. Off-street parking and loading requirements must be in accordance with the provisions of Article 6, and any additional regulations that may be adopted for a particular HOD. However, for applications requiring final action by the ARB, BZA, Planning Commission, or Board, these bodies must provide specific approval for any off-street parking space located in any minimum front setback. The approval must be based on a finding that the proposed location is compatible with the purpose and intent of the District, and additional landscaping for such parking spaces may be required to promote compatibility.
- C. Off-street parking and loading areas will be permitted and encouraged to locate on adjacent properties where it is determined that the parking or loading facilities would otherwise have an adverse effect on the appearance of the property or the district in general. Off-street parking and loading areas will be encouraged to locate facilities in interior parking lots, courts, or at other appropriate locations that will be convenient for users, reduce interference with pedestrian and vehicular traffic, and generally promote public safety.
- D. Development within an HOD will be in general conformance with the policies and recommendations set forth in the Comprehensive Plan.

## 6. Administration of Historic Overlay District Regulations

### A. Applicability

Once established, HODs are subject to the administrative procedures in this Section.

### B. Zoning Applications, and Site, Subdivision, Grading and Sports Illumination Plans

ARB review and recommendation is required on applications for a rezoning, special exception, special permit, and variance, and for site plans, subdivision plats, grading plans, and sports illumination plans. This review must include consideration of the potential impact of the proposal on the historical, architectural, or archaeological significance of the district. In addition, the following should also be considered:

- (1) The impact of the proposed use, including the intensity, density, and scale of development, on existing conditions in the district;
- (2) Any change to the visual character of the district including views to and from historic, contributing, and non-contributing properties;

- (3) The location of buildings, structures, streets, parking areas, and planting and landscape features;
- (4) Any change to existing grades, drainage patterns, landscaping, or similar features as a result of permanent or temporary site construction activities; and
- (5) Any change to non-structural site elements, such as vehicular access, yard requirements, or utility easements that may affect the historic character of the district.

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### **C. Building Permits, Sign Permits, and Utility Facility Applications**

- (1) ARB review and approval is required before the issuance of a building permit by the Director and approval of a sign permit by the Zoning Administrator, as listed below. The ARB may also review and provide recommendation on new utility distribution or transmission structures 50 feet or lower in height and their associated facilities, (together known as a “utility facility application”). ARB review and approval is not required for building permits that are only for the interior alteration of a structure. The following are subject to ARB review and approval:
  - (a) Building permits for the construction, reconstruction, or exterior rehabilitation, remodeling, alteration, or restoration of any building or structure in an HOD, except as qualified in subsection (3) below;
  - (b) Building permits for the demolition or relocation of any building or structure in an HOD;
  - (c) Sign permits for the erection, alteration, refacing or relocation of any sign in an HOD; and
  - (d) Zoning Permits or Zoning Approvals for utility facility applications located on, adjacent to, or visible from a major thoroughfare, scenic byway, road listed or determined to be eligible for listing in the National Register, or a contributing, non-contributing, or historic property in an HOD. The ARB will recommend approval or denial of any application no later than 45 days after a complete application is filed and accepted by the Department of Planning and Development. If the recommendation is not rendered within that time, the Zoning Administrator may consider the recommendation of the ARB in making the final decision on the permit, provided that the recommendation is made within any applicable deadline under local, state, or federal law.
- (2) Regulations related to the length of approval are included below:
  - (a) ARB approval for issuing a building permit or a sign permit is valid for two years or for a longer period if deemed appropriate. However, approval of a new utility facility application remains valid unless subject to removal under Section 4102.4.Y or state or federal law.
  - (b) If a building permit or sign permit has not been issued within the approval period, the ARB may grant a one-year extension of the approval. The applicant must request the extension before the original expiration date, and the ARB must find that the proposed project and conditions within the HOD are essentially the same as when the approval was first granted.
- (3) Department of Planning and Development Heritage Resources staff will review and approve building permits on the ARB’s behalf in the following circumstances:



- (a)** For the construction, reconstruction, or exterior rehabilitation, remodeling, alteration, or restoration of:
    - 1.** Non-contributing buildings and structures or for accessory structures; and
    - 2.** When the proposed development is neither adjacent to nor visible from:
      - a.** A contributing or historic property; or
      - b.** A major thoroughfare, scenic byway, or road listed or determined to be eligible for listing in the National Register;
  - (b)** For re-roofing or re-siding of non-contributing buildings or structures, when the replacement roofing or siding is similar in color, material, and texture to that which is being replaced; or
  - (c)** For signs previously approved by the ARB as part of a larger property-wide sign plan.
- The ARB reviews and makes decisions on building permits, sign permits, and utility facility applications as required by subsection (1) above, in accordance with the following:
- (a)** The applicant must forward copies of the complete permit application to the ARB;
  - (b)** The ARB may only consider the following in its review of applications to ensure architectural compatibility within the HOD:
    - 1.** The exterior architectural features, including all signs, that are visible from a public right-of-way or from contributing, non-contributing, or historic property;
    - 2.** The general design, size, arrangement, texture, material, color, and fenestration of the proposed building, structure, utility facility, or sign, and how those factors relate to similar features of historic or contributing buildings or structures within the HOD;
    - 3.** The architectural compatibility of the building, structure, utility facility, or sign with historic, contributing, or non-contributing buildings or structures within the district; and
    - 4.** Whether the building or structure will promote the general welfare of the County and all citizens by the preservation and protection of historic places and areas of historic significance in the County.
  - (c)** The ARB will review an application for a permit to demolish a building or structure, in whole or part, based on the circumstances and the condition of the structure in question and make its determination based on consideration of any of the following criteria:
    - 1.** Whether the building or structure is of architectural or historical interest that contributes to the significance of the district, and its removal or alteration would be against public interest;
    - 2.** Whether the building or structure is of an old and unusual or uncommon design, texture, and material that cannot be reproduced or can only be reproduced with great difficulty; or

3. Whether retention of the building or structure and its specific architectural features helps preserve and protect the character of a historic place or area of historic interest in the County.
- (d) When reviewing an application for a building permit to relocate a building or structure, the ARB will make its determination based on whether:
  1. The proposed relocation has a detrimental effect on the structural soundness of the building or structure;
  2. The proposed relocation has a detrimental effect on the historical aspects of other historic, contributing, or non-contributing properties in the HOD;
  3. The proposed relocation's new surroundings are consistent with the historical and architectural aspects of the structure or building; and
  4. The building or structure contributes to the significance of the district, and its proposed relocation would therefore help preserve and protect a historic place or area of historic interest in the County.
- (e) The ARB will approve, approve with modifications, or disapprove an application based on the ARB's general knowledge, information received from the applicant, and upon application of the appropriate criteria set forth in this subsection 3101.6.C and subsection 3101.6.G below. After approval, the ARB will transmit notice of its approval; this notice is a prerequisite to the issuance of a building permit by the Director or the approval of by the Zoning Administrator of a sign permit. If the ARB disapproves the application, it will notify the applicant and the Director or the Zoning Administrator, as applicable.

## D. Submission Requirements

For applications and plans subject to its review or approval, the ARB may require the submission of any or all of the following information and any other materials as deemed necessary for its review:

- (1)** A statement of proposed use and name of proposed user;
- (2)** A statement of estimated time of construction;
- (3)** Maps relating proposed use to surrounding property, zoning, and the historic district;
- (4)** A plan showing building configuration, topography, grading and paving;
- (5)** Architectural schematic drawings showing floor plans and all exterior elevations (principal one in color);
- (6)** Color photographs of the property, adjacent properties, and similar properties within or near the district that clearly show the visual character of the surrounding area;
- (7)** Plan and section drawings of the site showing the relationship between new construction and existing structures indicating building heights, ground elevations, and the general location of existing and proposed plant materials;
- (8)** A landscaping plan showing the location and identification of existing and proposed plantings, landscape features such as fences, gates, retaining walls, and paving, and a list indicating the name and size of proposed plantings, and the limits of clearing;
- (9)** A plan showing exterior signs, graphics, and lighting to establish location, size, color, and type of materials; and

- (10)** Samples, descriptive literature, or photographs showing the type and color of fixtures to be installed and primary building materials including foundation, cladding, trim, and roofing.
- (11)** With respect to permit applications for new utility facility applications, the ARB may request submission of photographic simulations of the proposed facility as it would appear on the existing structure; schematic drawings showing the color, proposed material, and scale of the proposed facility relative to the existing structure; or other similar materials that will assist the ARB in timely reviewing such permit applications.

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## **E. Appeals**

- (1)** Any person aggrieved by any decision of the ARB may appeal that decision to the Board of Supervisors. The appeal must include the grounds for appeal and be filed in writing with the Clerk to the Board within 30 days of the ARB's decision.
- (2)** The Board will review the action of the ARB and decide the appeal. The Board may affirm, reverse, or modify the decision of the ARB, and its determination will be forwarded to the Director or the Zoning Administrator, as applicable.
- (3)** Any person or persons jointly or severally aggrieved by any decision of the Board, or any officer, department, board or agency of the County, may appeal that decision to the Circuit Court of Fairfax County. A petition at law setting forth the alleged illegality of the action of the Board must be filed within 30 days after the final decision is rendered by the Board. The filing will stay the decision of the Board pending the outcome of the appeal to the Court, except that the filing of the petition will not stay the decision of the Board if the decision denies the right to raze or demolish any building, or structure. The Court may reverse or modify the decision of the Board, in whole or in part, if it finds upon review that the decision is arbitrary and constitutes an abuse of discretion, or the Court may affirm the decision of the Board.
- (4)** In addition to the right of appeal set forth in subsections (1), (2), and (3) above, the owner of a building or structure, the demolition of which is subject to the provisions of subsection C(1)(b) above, will be entitled to raze or demolish the building or structure, provided that:
  - (a)** The owner has applied to the ARB and Board for that right;
  - (b)** The owner has for the period of time set forth in the time schedule referenced below and at a price reasonably related to its fair market value, made a bona fide offer to sell the building or structure, and the land pertaining to the building or structure, to the County or to any department, officer, agency, board or government entity of the County, or political subdivision or agency of the County, that gives reasonable assurance that it is willing to preserve and restore the building or structure and the land pertaining to the building or structure; and
  - (c)** That no bona fide contract, binding upon all parties to that contract, has been executed for the sale of that building or structure, and the land pertaining to that building or structure, before the expiration of the applicable time period set forth in the time schedule below. An owner retains the right to make a bona fide offer to sell regardless of any appeal to the Court from the Board's decision, whether brought by an owner or other proper party, and the provisions in this section relating to a stay of the appealed decision. No offer to sell will be made more than

one year after a final decision by the Board, but thereafter the owner may renew the request to the Board to approve the razing or demolition of the building or structure. The time schedule for offers to sell are as defined in Va. Code Sect. 15.2-2306.

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## **F. Archaeological Survey Requirements**

To further the purpose of the HODs and to aid in the identification and protection of historic or archaeological resources located within or in the vicinity of an HOD, the Fairfax County Park Authority archaeologists must be consulted concerning a rezoning, development plan, special exception, special permit, or variance application on a property that is located wholly, partially within, or contiguous to an HOD and when the application involves 2,500 square feet or more of land disturbing activity.

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## **G. Standards for Adoption of Development of Guidelines**

The ARB will adopt guidelines for new construction, existing structures, the exterior alteration of existing buildings, structures, and sites, and for the installation of new utility facility applications located within an HOD based on the standards below:

- (1)** A property should be used for its historic purpose or be adapted for a new use that requires minimal change to the defining characteristics of the building, its site, and the surrounding area.
- (2)** The historic character of a property should be retained and preserved; the removal of historic materials or alteration of features and spaces that characterize a property should be avoided.
- (3)** The changes must not create a false sense of historical development.
- (4)** Changes that have acquired historic significance over time should be retained and preserved.
- (5)** Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property should be preserved.
- (6)** Deteriorated historic features should be repaired rather than replaced unless the severity of deterioration requires replacement of a distinctive feature; the new feature should match the old in design, color, texture, and other visual qualities, and, where possible, materials; replacement of missing features should be substantiated by documentary, physical, or pictorial evidence.
- (7)** Harsh chemical or abrasive treatments that cause damage to historic materials should not be used; the surface cleaning of structures, if appropriate, should be undertaken using the gentlest means possible.
- (8)** Significant archaeological resources affected by a project should be protected and preserved; if those resources must be disturbed, mitigation measures should be undertaken.
- (9)** New additions, exterior alterations, or related new construction should not destroy historic materials that characterize the property; new work should be differentiated from the old and should be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environs.

- (10) New additions or related new construction should be undertaken so that if they are removed in the future, the essential form and integrity of the historic property and its environs would be unimpaired.
- (11) Site design, including the placement of structures, shaping of landforms, and use of plant materials should be undertaken so that the visual characteristics and physical integrity of a historic property and its environs is preserved and enhanced.
- (12) New construction associated with new development should be undertaken in a manner that is compatible and complimentary to the existing character of the historic district.

## 7. Bull Run Stone Bridge Historic Overlay District

### A. District-Specific Purpose

In addition to the purpose for HODs as stated in subsection 3101.1, the Bull Run Stone Bridge Historic Overlay District is created to protect against destruction of the Bull Run Stone Bridge historic landmark.

### B. Permitted, Special Exception, and Special Permit Uses

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) Residential dwellings are limited to single-family detached units.
- (2) Commercial uses are limited to those uses permitted by right, special permit, or special exception in the C-5 District.
- (3) No industrial uses are permitted.

### C. Additional Standards

All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the Bull Run Stone Bridge in terms of mass, scale, color and visual impact.

### D. Building Height

Maximum: 35 feet.

## 8. Centreville Historic Overlay District

### A. District-Specific Purpose

In addition to the purpose for HODs as stated in subsection 3101.1, the Centreville Historic Overlay District is created to protect against destruction of the historic, archaeological, and architectural quality of the Centreville structures and landmarks.



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**B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) The following uses are not allowed: kennel, new vehicle storage, warehouse, and wholesale facility.
- (2) The following uses are allowed only on properties that are contiguous to Route 29: car wash, drive-through financial institution, drive-through pharmacy, restaurant with drive-through, vehicle fueling station, light vehicle repair and maintenance, vehicle transportation service, and other drive-through.

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**C. Additional Standards**

Any new improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities must be designed and installed to be compatible with the historic landmarks. The location and arrangement of structures must not be detrimental to existing uses or prospective adjacent uses.

- (1) Any new improvements must be designed to be sensitive to archaeological resources, as well as the historical character of the area.
- (2) Any type of outdoor lighting is subject to the approval of the ARB.

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**D. Building Height**

Maximum: 35 feet.

## 9. Colvin Run Mill Historic Overlay District

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Colvin Run Mill Historic Overlay District is created to protect against destruction of the Colvin Run Mill historic landmark.

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**B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) Residential dwellings are limited to single-family detached units.
- (2) Commercial uses within this district are permitted only on the Colvin Run Mill site and are limited to those uses deemed appropriate by the ARB.
- (3) No industrial uses are permitted.

---

**C. Additional Standards**

All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the Colvin Run Mill Complex in terms of mass, scale, color and visual impact.

---

**D. Building Height**

Maximum: 35 feet.

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**10. Dranesville Tavern Historic Overlay District**

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Dranesville Tavern Historic Overlay District is created to protect against destruction of the Dranesville Tavern historic landmark.

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**B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) Residential dwellings are limited to single-family detached units.
- (2) Commercial uses within this district are limited to those uses deemed appropriate by the ARB on the Dranesville Tavern site.
- (3) No industrial uses are permitted.

---

**C. Additional Standards**

All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the Dranesville Tavern in terms of mass, scale, color and visual impact.

---

**D. Building Height**

Maximum: 35 feet.

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**11. Huntley Historic Overlay District**

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Huntley Historic Overlay District is created to protect against destruction of the Huntley historic landmark.

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**B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special permit, and special exception in the underlying zoning districts, except that no commercial or industrial uses are permitted. However, certain commercial and industrial uses may be permitted in any location if approved as an Alternative Use of Historic Buildings special exception.

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**C. Additional Limitations**

- (1) All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with Huntley in terms of mass, scale, height, color, type of material and visual impact.

- (2) Freestanding signs may not exceed five feet in height.

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**D. Building Height**

Maximum: 35 feet.

## **12. Lake Anne Village Center Historic Overlay District**

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Lake Anne Village Center Historic Overlay District is created to protect against destruction of the historic and architectural quality of the significant landmarks.

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**B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit for a Village Center in the PRC District.

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**C. Additional Standards**

Any new improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities must be designed and installed as integral parts of the present village complex, and to be compatible with the original design. The location and arrangement of structures must not be detrimental to existing uses or prospective adjacent uses.

## **13. Langley Fork Historic Overlay District**

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Langley Fork Historic Overlay District is created to protect against destruction of the Langley Fork historic landmarks.

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**B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) Residential dwellings are limited to single-family detached units.
- (2) No additional commercial uses are permitted.
- (3) No industrial uses are permitted.

---

**C. Additional Standards**

- (1) All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the landmark structures.
- (2) Freestanding signs may not exceed five feet in height.

---

**D. Building Height**

Maximum: 35 feet.

## **14. Mount Air Historic Overlay District**

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Mount Air Historic Overlay District is created to protect against destruction of the historic and archaeological integrity of the existing and potential heritage resources.

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**B. Additional Limitations**

Any new improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the historic landmark. The location and arrangement of structures must not be detrimental to existing uses or prospective adjacent uses.

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**C. Bulk Regulations**

Maximum: 35 feet.

## **15. Pohick Church Historic Overlay District**

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Pohick Church Historic Overlay District is created to protect against destruction of the Pohick Church.

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**B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) No multifamily dwelling units are permitted.
- (2) No vehicle fueling stations, vehicle service establishments, or restaurants with drive-through may be permitted.
- (3) No industrial uses are permitted.

---

**C. Additional Standards**

All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the Pohick Church complex in terms of mass, scale, color, and visual impact.

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**D. Building Height**

Maximum: 39.5 feet.

## 16. Robey's Mill Historic Overlay District

### A. District-Specific Purpose

In addition to the purpose for HODs as stated in subsection 3101.1, the Robey's Mill Historic Overlay District is created to protect against destruction of the Robey's Mill historic landmarks.

### B. Permitted, Special Exception, and Special Permit Uses

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) Residential dwellings are limited to single-family detached units.
- (2) No commercial uses are permitted, except for the use of the mill itself.
- (3) No industrial uses are permitted.

### C. Additional Standards

- (1) All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the landmark structures.
- (2) Freestanding signs may not exceed five feet in height.

### D. Building Height

Maximum: 35 feet.

## 17. St. Mary's Church Historic Overlay District

### A. District-Specific Purpose

In addition to the purpose for HODs as stated in subsection 3101.1, the St. Mary's Church Historic Overlay District is created to protect against destruction of the St. Mary's Church historic landmark.

### B. Permitted, Special Exception, and Special Permit Uses

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) Commercial uses must be developed only as part of a shopping center.
- (2) Industrial uses must be developed only as part of a designed industrial park and are limited to those uses permitted by right, special exception, or special permit in the I-4 District.



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**C. Additional Standards**

- (1) All improvements including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with St. Mary's Church in terms of mass, scale, color and visual impact.
- (2) To the extent possible, existing tree cover must be preserved in that area south of the Southern Railroad.

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**D. Building Height**

Maximum: 35 feet

## **18. Sully Historic Overlay District**

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**A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Sully Historic Overlay District is created to protect against destruction of the Sully historic landmark, associated structures, and the cultural landscape. This district is uniquely located adjacent to Dulles International Airport. In recognition of the potential for industrial uses surrounding the historic property, Sully is currently the only HOD that requires a 200-foot wide planted buffer around the historic property. In addition, the Sully Historic Overlay District was created to encompass land areas located within one-fourth mile of the Sully Property, making it one of the largest HODs established by this Ordinance.

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**B. Permitted, Special Exception, and Special Permit Uses**

- (1) All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:
  - (a) Industrial uses are limited to those uses permitted by right, special exception, or special permit in the I-4 District.
  - (b) Except as allowed by subsection 1 above, no commercial uses are permitted.
- (2) The Board may approve a special exception in accordance with subsection 8100.3 to allow outdoor storage in association with a warehouse in the I-5 and I-6 Districts subject to the following:
  - (a) Storage may not be visible from the Sully complex or the approaches to the Sully complex;
  - (b) Storage must be compatible with the purpose of this district; and
  - (c) The Board may impose additional conditions regarding the size, location, and screening of the outdoor storage area.

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**C. Additional Standards**

- (1) All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with the Sully complex in terms of mass, scale, color, and visual impact.

- (2) A planted buffer having a 200-foot minimum width must be provided along all lot lines that are contiguous to the Sully property, as defined by Tax Map Parcels 34-2 ((1)) 13 and 14. If the Park Authority acquires additional land area for the Sully property, the 200-foot wide planted buffer requirement is only applicable along those lot lines contiguous to the Tax Map Parcels identified above and may not be altered by the acquisition of additional land. The minimum planting must be in accordance with standards established by the ARB.

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#### **D. Bulk Regulations**

- (1) Maximum building height: 35 feet, subject to increase up to 60 feet as may be permitted by the Board in accordance with the provisions of subsection 5100.2.C(8) and within 500 feet of the interior of the Sully Historic Overlay District perimeter boundary. The approval of a height increase may not permit the actual height of any building to exceed 65 feet as measured from grade to the top of any roof or rooftop structure.
- (2) Setback requirements: As specified in the underlying zoning districts, except structures developed on land contiguous to the Sully property, as defined by Tax Map Parcels 34-2 ((1)) 13 and 14, which must be located no closer than 200 feet to the Sully property line. Where that limitation would preclude permitted uses, the minimum setback and building location requirements will be as determined by the ARB. If the Park Authority acquires additional land area for the Sully property, the 200-foot minimum setback requirement are only applicable along those lot lines contiguous to the Tax Map Parcels identified above and must not be altered by the acquisition of additional land.

### **19. Woodlawn Historic Overlay District**

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#### **A. District-Specific Purpose**

In addition to the purpose for HODs as stated in subsection 3101.1, the Woodlawn Historic Overlay District is created to protect against destruction of Woodlawn and the George Washington Grist Mill.

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#### **B. Permitted, Special Exception, and Special Permit Uses**

All uses permitted by right, special exception (including certain uses which may be approved as an Alternative Use of Historic Buildings), and special permit in the underlying zoning districts, subject to the following limitations:

- (1) Residential dwellings south of Richmond Highway are limited to single-family detached units.
- (2) Commercial uses are limited to offices and tourist-oriented uses, including but not limited to antique shops, craft shops, restaurants, hotels and motels. No service stations or restaurants with drive-through may be permitted.
- (3) No industrial uses are permitted.

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### C. Additional Standards

All improvements, including structures, signs, fences, street furniture, outdoor graphics, and public and private utilities, must be designed and installed to be compatible with Woodlawn and George Washington Grist Mill in terms of mass, scale, color and visual impact.

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### D. Building Height

Maximum: 35 feet.

## 3102. Commercial Revitalization Districts

### 1. Purpose

The Commercial Revitalization Districts (CRDs) are established to encourage economic development activities in the older commercial areas of the County in order to provide desirable employment and enlarge the tax base consistent with state law. The districts are intended to enhance the older commercial areas of the County by providing for specific regulations that are designed to facilitate the continued viability and redevelopment of these areas. To that end, the districts are intended to provide for additional flexibilities for development and redevelopment in these areas while also providing for urban design measures such as streetscape and landscaping.

### 2. Districts

The Commercial Revitalization Districts (CRDs) are listed in the Table below.

**TABLE 3102.1: Commercial Revitalization Districts**

Annandale Commercial Revitalization District
Bailey's Crossroads/Seven Corners Commercial Revitalization District
McLean Commercial Revitalization District
Richmond Highway Commercial Revitalization District
Springfield Commercial Revitalization District

### 3. Standards Applicable to All Commercial Revitalization Districts

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#### A. Permitted Uses

All uses are allowed according to the underlying zoning district(s), except vehicle transportation service is not allowed by right in the CRDs.

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#### B. Special Exception Uses

In addition to all uses permitted by special exception in the underlying zoning district regulations, the following uses, modifications, and waivers may be approved either as a special exception or in conjunction with a rezoning:

- (1) Vehicle transportation service in the C-6, C-7, and C-8 Districts;
- (2) Modification or waiver of the minimum lot size requirements, setback requirements, or minimum open space requirements;

BZA beyond the authority specifically conferred by this Ordinance is deemed to be of no force and effect.

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#### **K. Decisions Subject to Judicial Review**

All decisions and findings of the BZA that resolve the merits of an appeal or application before the BZA, or that dismiss such a filing with prejudice on a procedural basis, are final decisions, and are, in all instances, subject only to judicial review in the manner provided by state law.

### **4. Architectural Review Board**

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#### **A. Purpose**

The purpose of the Architectural Review Board is to administer the provisions of Section 3101 and to advise and assist the Board in its efforts to preserve and protect historic, cultural, architectural, and archaeological resources in the County.

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#### **B. Authority and Establishment**

The Fairfax County Architectural Review Board ("ARB") is established in accordance with this section.

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#### **C. Powers and Duties**

The ARB has the following powers and duties:

- (1) In a Historic Overlay District, to hear and decide applications for building permits and sign permits.
- (2) To review and make recommendations on all applications for rezoning, special exception, special permit, and variance, and any site plan, subdivision plat, grading plan, and sports illumination plan in Historic Overlay Districts.
- (3) To propose, as deemed appropriate, the establishment of additional Historic Overlay Districts and revisions to existing Historic Overlay Districts.
- (4) To assist and advise the Board, the Planning Commission, and other County departments and agencies in matters involving historically, architecturally, culturally, or archaeologically significant sites and buildings such as appropriate land usage, parking facilities, and signs.
- (5) To assist the Zoning Administrator in reviewing of applications for new utility distribution or transmission poles 50-feet or lower in height proposed to be constructed within the right-of-way of a Virginia Byway, or on property that is both adjacent to a Virginia Byway and listed on the County Inventory of Historic Sites. To assist the Zoning Administrator, the ARB may provide application specific recommendations or formulate general recommended criteria or design guidelines for the installation of such poles in these areas.
- (6) To advise owners of historic buildings or structures on problems of preservation.
- (7) To formulate recommendations concerning the establishment of an appropriate system of markers for Historic Overlay Districts and selected historic sites and buildings, including proposals for the installation and care of such markers.

- (8)** To advise the Board of Supervisors in the preservation, restoration, and conservation of historic, cultural, or archaeological buildings, sites, or areas in the County by cooperating with and enlisting assistance from the Fairfax County History Commission, the Virginia Department of Historic Resources, the National Trust for Historic Preservation, and other interested parties, both public and private.
- (9)** To make available to the Fairfax County Library, on request, copies of reports, maps, drawings, and other documents bearing on the historical significance and architectural history of landmarks considered by or brought to the attention of the ARB, and permit copies to be made for permanent keeping in the library's historical collection.
- (10)** To employ secretarial assistance and pay salaries, wages, and other incurred necessary expenses, in accordance with appropriations by the Board.

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#### **D. Membership**

- (1)** The ARB is composed of 11 voting members who must be residents of the County. The members appointed by the Board must include:
  - (a)** Two licensed architects, at least one of whom must meet the Secretary of the Interior's Professional Qualification Standards for Historic Architecture as published in 36 CFR Part 61.
  - (b)** One licensed landscape architect.
  - (c)** One lawyer who is an active member in good standing with the Virginia State Bar.
  - (d)** One archaeologist who meets the Secretary of the Interior's Professional Qualification Standards for Archaeology as published in 36 CFR Part 61.
  - (e)** One historian who meets the Secretary of the Interior's Professional Qualification Standards for History as published in 36 CFR Part 61 or one architectural historian who meets the Secretary of the Interior's Professional Qualification Standards for Architectural History as published in 36 CFR Part 61.
  - (f)** One member must be an ex-officio member from the Fairfax County History Commission, who will be drawn from the ranks of related professional groups or who meets the Secretary of the Interior's Professional Qualification Standards for one of the disciplines cited above in (a), (d), or (e).
  - (g)** The other members appointed by the Board will be drawn from the ranks of related professional groups such as historians, architectural historians, architects, landscape architects, archaeologists, engineers, land-use planners, lawyers, and real estate brokers.
- (2)** Members other than the member from the History Commission, who is chosen by the History Commission, must be appointed to serve for a term of three years or until their successor has been appointed. Terms will be staggered with three members appointed every year except that four members will be appointed every third year. An appointment to fill a vacancy may only be for the unexpired portion of the term. Members may be reappointed to succeed themselves.
- (3)** Members must exempt themselves from voting on any action in which their financial interests or those of their immediate family or employer are directly involved.
- (4)** Members must possess a demonstrated interest, competence, and knowledge of historic preservation.



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**E. Officers**

The officers of the ARB must be established by majority vote of the entire membership.

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**F. Meetings**

- (1) Meetings of the ARB will be scheduled as needed. Meetings must be held at a time and place to be designated by the Chairperson, and all members will be notified of such at least five days in advance of the meeting.
- (2) A quorum of six members present is required for consideration of any matter, and any action taken requires the affirmative vote of a majority of the voting membership present.

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**G. Records**

The ARB must keep records of all its proceedings and the records will be made available on request for public inspection.

## **5. Affordable Dwelling Unit Advisory Board**

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**A. Powers and Duties**

- (1) The Affordable Dwelling Unit (ADU) Advisory Board advises the County Executive respecting the setting of the amount and terms of all sales and rental prices of affordable dwelling units.
- (2) The ADU Advisory Board is authorized to hear and make final determinations or grant requests for modifications of the requirements of the Affordable Dwelling Unit Program, except that the ADU Advisory Board does not have the authority to:
  - (a) Modify or reduce the Affordable Dwelling Unit Adjuster required in accordance with subsection 5101.4 above;
  - (b) Modify the unit specifications established by the Authority in accordance with 5101.5.E(1) above;
  - (c) Modify the eligibility requirements for participation in the ADU Program;
  - (d) Modify any proffered condition, development condition or special exception condition specifically regarding ADUs;
  - (e) Modify the zoning district regulations applicable to ADU developments;
  - (f) Hear appeals or requests for modifications of affordable dwelling unit sales or rental prices;
  - (g) Modify the provisions of subsection 5101.4 above regarding the percentage of affordable dwelling units required or to allow the construction of affordable dwelling units which are of a different dwelling unit type from the market rate units on the site; or
  - (h) Modify the provisions of subsection 5101.7.B(4) or 5101.7.B(5) above regarding the conversion of rental developments to condominium and the establishment of new condominium developments.

## Attachment 7 – Hollin Hills Work Group Comments dated June 15, 2021

June 15, 2021

Supervisor Dan Stork  
2511 Parkers Lane  
Alexandria, VA 22306

Jill G. Cooper  
Executive Director  
Fairfax County Planning Commission  
12000 Government Center Parkway  
Suite 552  
Fairfax, VA 22035

Re: Hollin Hills Historic Overlay District Staff Report

Dear Supervisor Stork and Ms. Cooper:

The individuals listed below, representing a majority of the members of the Hollin Hills advisory committee to Fairfax County's Department of Planning and Development, strongly support the "Staff Report on the Proposal to Create the Hollin Hills Historic Overlay District" and the creation of the proposed Historic Overlay District (HOD) using the boundaries identified by the staff. Hollin Hills is an area of unique architectural value and is entitled to designation as an HOD because it represents a well preserved, recognizable and historically important example of mid-century modern architecture primarily designed by a single noted architect, Charles Goodman.

Although only a fraction of Hollin Hills homes remain as originally built, the vast majority retain more than enough of their original mid-century modern architectural features to support the conclusion that HOD status is appropriate. It is worth noting that from its inception Hollin Hills' architectural character has been protected by a covenant on the land that requires all new construction and all alterations that affect the visual appearance of any building or structure to be in harmony and conformity with the existing structures in the neighborhood. While Hollin Hills has been largely successful in preserving its architectural character, the community has learned that it may no longer be able to control its architectural future as it has in past years. The HOD designation will permit Hollin Hills to preserve its mid-century modern architectural integrity while allowing for the architectural evolution of the community as it confronts the need to incorporate new building methods and materials, the residents' evolving housing requirements and responds to changing climate and environmental needs. Additionally, it is likely that, like many surrounding communities, Hollin Hills will confront efforts to tear down original houses and replace them with "McMansions."

For the past two years, since Spring 2019, we have participated as members of a working advisory committee composed of Hollin Hills residents representing a variety of viewpoints concerning the merits of designating Hollin Hills as an HOD. During this period, we met a dozen times to advise the County's Planning and Development Department employees charged with the responsibility of examining the propriety of designating Hollin Hills as an HOD. As part of our remit, we advised about Hollin Hills' history and architecture, reviewed the existing structures

within the proposed HOD, reviewed the boundaries for the proposed HOD, and reviewed and commented upon the draft *Guidelines for Preserving Architectural Character*.

We began by identifying the defining features of Hollin Hills' mid-century modern architecture. The mid-century modern characteristics identified include an absence of ornamentation; roofs are low in profile, do not dominate the structures, and utilize a flat, low slope, or butterfly design. To the extent that a roof design incorporates an eave or overhang, a thin framing is employed. For a number of the home designs, the use of a brick chimney wall visually anchors the structure. Windows feature large exposures of glass that are principally floor to ceiling in design, with thin/narrow window frames. The siting plans not only afforded privacy between neighboring houses, but significantly allowed a shared landscape view.

The advisory group also provided input concerning the drafts of the proposed *Guidelines for Preserving Architectural Character: Preservation & Rehabilitation of Existing Buildings* ("Guidelines"). These *Guidelines* will be used by the County's Architectural Review Board (ARB) to aid in evaluating those Hollin Hills projects that require review. (Only those projects that require a building permit are subject to ARB review.) Our input, as well as comments from other community members, led to substantial revisions to the *Guidelines* as originally proposed. It is important to note that the *Guidelines* are not regulations; rather, they represent best practices for maintaining the architectural character of the community and provide the ARB with guidelines for achieving that end.

We also have reviewed and agree with the proposed boundaries for the HOD, as they reflect what is commonly understood to be Hollin Hills' geographical boundaries.

As part of our work, we also commented on the "contributing" vs. "non-contributing" nature of a number of homes. It is our understanding that in the context of architectural preservation, a "contributing" structure is one that reflects the historic integrity or architectural qualities that make the historical district significant. Non-contributing structures are those that, due to alterations, date of construction, or other factors do not contribute to the historic significance or character of the area.

In August 2013, Hollin Hills' successful application to the National Register of Historic Places identified 14 houses as "non-contributing." The present Staff Report identifies an additional 17 homes as non-contributing. Consequently, in a community of approximately 460 homes, thirty-one (less than 7%) have been designated non-contributing. The undersigned do not all agree with the more stringent criteria used to reach the Staff Report's conclusions with respect to structures designated as "contributing" and/or "non-contributing." However, we recognize that in making these decisions there is, of necessity, some degree of subjectivity which can form the basis for fair debate.

One area of remaining concern to a number of us is that the *Guidelines* incorporate illustrative photographs of a few Hollin Hills homes whose features do not reflect Hollin Hills' mid-century modern architectural character. The non-conforming nature of the depicted homes is noted by the placement of an "X" on the photograph. While the goal of providing concrete examples of acceptable mid-century design is commendable, the negative connotations attendant to these photographs provide fodder for discord within the community and will not aid the goal of gaining community support for the *Guidelines*. We request that all negative photographs be replaced by drawings.

We do agree, however, that the overwhelming majority of Hollin Hills houses remain “contributing” as they possess the architectural qualities that reflect Goodman’s mid-century modern architectural design and support Hollin Hills’ HOD designation. We also understand and support the recommendation that all structures within the HOD, contributing and non-contributing, should be subject to the proposed *Guidelines*.

For the reasons discussed above, we strongly support the Staff Report.

Sincerely yours,

*Jere Gibber*

*Andrew Hight*

*Robert Kinzer*

*Ronald McCallum*

*Michael McGill*

*Barbara Ward*



Attachment 8 – Description of Architectural Styles of Residences- Charles Goodman House  
Unit Types



# Description of Architectural Styles of Residences- Charles Goodman House Unit Types

All information in this section, unless otherwise noted, is based on research in the National Register of Historic Places nomination for the Hollin Hills Historic District. Further all pictures are taken by staff from the public right-of-way, unless otherwise noted.

## **Unit #1**

Originally designed in 1949, the Unit No. 1 is a split-level house often viewed as three stories depending on the slope of the selected site. The first version was a split-level residence with a “car-shelter” or carport, however by November 1949 the carport was removed from the designs for more living space. On the exterior, the first two levels are predominantly masonry construction with concrete-block walls sometimes faced in brick. The upper story of the house is wood frame and clad in 1 by 4 inch vertical wood siding. The upper story is cantilevered above the lower story, set on a concrete block and clad in reclaimed or used brick. The structure is covered by a low-sloped gable or shed roof, with wide overhanging eaves and a large interior brick chimney rising from the center.

## **Variation Unit #1B**

This unit is also a split-level model home, but it is generally banked into a sloping site and integrated into the landscape. It also could include upper story terrace that extends from the living area through glass doors depending on site conditions.

## **Variation Unit #1BE**

The interior layout of the home is altered including providing an additional bedroom, bath and storage space on the uphill side of the living area.



Unit #1



Variation Unit #1B



Variation Unit #1BE



# Description of Architectural Styles of Residences-

## Charles Goodman House Unit Types

### Unit #2

Designed in 1949 the Unit #2 became Goodman's most popular model. The original #2 was designed for flat lots, one-story and measured 25 by 46 feet. It is a wood-frame building set on a concrete slab, clad with 1 by 4 inch vertical siding and covered by a low-sloped gable roof with wide overhanging eaves with a large brick chimney rising at the end. Floor to ceiling window walls made up of 3-foot-wide modules are the standard and measure up to 28 feet depending on the design of the structure. The building was designed so that it could be enlarged with four-foot sections, up to 54 feet in length.



Unit #2/ #2K4/ #2K4B4

### Variation Unit #2K4

This version is the same as the base unit, but with a kitchen four feet longer than the base unit.

### Variation Unit #2K4B4

This unit adds four feet of length to both the kitchen and bedrooms. This unit and 2K4, gave residents the option for more space, but because it was only adding to the length of the structure the roof trusses remained the same size.

### Variation Unit #2B42LB

This unit is a two-story variation and the largest of the Unit #2 types. This design added two bedrooms in the lower story and was designed to be built diagonally on a sloping site. This unit also took advantage of the extended wall space and incorporated seven window modules, creating two fully glazed walls at the corner of one of the lower story bedrooms



Variation Unit #2B42LB



# Description of Architectural Styles of Residences- Charles Goodman House Unit Types

## **Variation 2 Butterfly**

Designed in 1952 this variation has the same layout and dimensions as the original Unit #2, but the gable roof is replaced with a low-sloped V-shaped or butterfly roof with tapered four-foot eaves. This roof creates a clerestory ceiling, and the large window modules characteristic of a Unit #2 extend vertically to the underside of the elevated ceiling. This unit can be anywhere from 1,150 to 1,350 square feet depending on optional extensions to the unit. The chimney on this unit also is modified.



Variation Unit #2 Butterfly

## **Unit #3**

Designed in 1950, this unit type is 1600 square feet measuring 28 feet by 58 feet, a slightly larger version of the original Unit #2. By adding the longer width this unit now was able to have three window modules instead of the two.



Unit #3

## **Unit #4**

Designed in 1950, this unit type is a two-story 1600 square foot residence, measuring 26 feet by 34 feet. The upper story is cantilevered slightly, and the chimney location was reduced in size and moved to an interior wall. This unit type was designed for sloped sites.



Variation Unit #4



# Description of Architectural Styles of Residences- Charles Goodman House Unit Types

## Variation Unit #5A

Designed in 1952, this unit type is a one-story with a flat roof marked by a distinctive raised central portion. The building measures 31 feet by 37 feet creating 1,150 square feet of living space. To structurally support the flat roof, there are dropped beams in the living room and dining room. The center of the roof is raised with clerestory windows to provide natural light. This unit was considered the most progressive and pivotal design and it was the basis for the #5 variations. The original #5 was not produced with the progressive roof originally proposed by Goodman but became this 5A with conventional framing.



Variation Unit #5A

## Variation Unit #5B

Designed in 1954, this unit was a two-story design that is built into the sloping landscape on a concrete-block foundation. The lower level has a wall of glass across the front, the upper level is cantilevered above the lower level. There are two small entry decks on either side of the unit.



Variation Unit #5B



# Description of Architectural Styles of Residences- Charles Goodman House Unit Types

## **Variation Unit #5CS**

This unit has a more expansive entry deck on the exterior. There is a low slope shed roof and an additional bedroom and bathroom on the lower level. There are extremely wide overhanging eaves. There are elongated window modules on the highest rear wall.



Variation Unit #5CS

## **Variation Unit #57**

Designed in 1955, this unit has a flat roof, it is available as a square or rectangle. The square design is also known as the Award, measuring 37 feet by 37 feet. The brick chimney was moved to the exterior wall for this design and created a freestanding sculptural chimney stack. The rectangle design was known as the Award Special, measuring 48 feet by 36 feet. Dry wall was beginning to replace plaster during the time of the unit construction. The rectangular version of the #57 unit has 12-foot-wide panels which allow for the option of wide or narrow windows.



Variation Unit #57

## **Unit #6**

Designed in 1952, this unit has an asymmetrical butterfly roof. The unit is 27 feet by 44 feet creating 2,100 square feet and built into the landscape. There is an exterior wall from floor to ceiling of windows across the width of the dwelling. There are terraces and decks on the ground level.



Unit #6



# Description of Architectural Styles of Residences- Charles Goodman House Unit Types

## **Unit #7L**

Designed in 1954, this unit has wide overhanging eaves and a low sloped roof. The unit is 50 feet by 25 feet, creating 1,250 square feet. The 12 feet by 8 feet panel walls are built off site and then assembled with steel angles and carriage bolts.



Unit #7L/  
Unit Custom Line

## **Unit Custom Line**

This unit is based on the Unit #7L. The unit is extended to be 26 feet by 66 feet.

## **Unit Main line**

This unit is based on the Unit #7L. The unit is 26 feet by 54 feet, creating 1,385 square feet. There are shallow cathedral ceilings with a dropped down beam carrying the rafters.



Unit Main Line/Unit  
Main Line 2L

## **Unit Main Line 2L**

This unit is based on the Unit #7L. Designed in 1960, it is designed as a two story to be built into the landscape.



# Description of Architectural Styles of Residences- Charles Goodman House Unit Types

## Unit #8

Designed in 1958, the T-shaped unit is 50 feet across the upper level of the unit. The end widths are 12 feet. There are fixed and operational windows, some of which are the largest used in the Hollin Hills development. The chimney is now serving as a divider between the living and dining room on an interior wall. On Unit #8, the exterior is clad in beveled horizontal siding.



Unit #8

## Unit #260

Designed in the early 1960s, this unit is a one-story house with 1,420 Square feet. There are multiple masonry features including large brick chimney and U-shaped storage closet on the exterior. There are walls made entirely of glass. This unit retains the insert entry porch from Unit #2.



Unit #260

## Unit Alcoa 57

Designed in 1959, this unit's exterior was covered in aluminum siding, this and was designed for the Aluminum Corporation of America. The unit is one-story with purple anodized aluminum exterior wall panels, the panels are 12 feet by 8 feet. Aluminum is also used on the roof and window framework.



Unit Alcoa 57



# Description of Architectural Styles of Residences-

## Charles Goodman House Unit Types

### **Unit Sonoma Ranger**

Designed in 1954, the unit is a prefabricated one-story house designed for the National Homes Corporation. The floorplan is rectangular with a gable roof. There is an exterior end chimney on the side elevation. The windows are both operational and non-operational windows.



Unit Sonoma Ranger  
(Source: 2021 County GIS)

### **Unit Decca**

Designed in the 1960s, this unit is a rectangular house with a gable roof similar to Goodman's Unit #2. This unit was designed by Robert Davenport, and was the most popular design of Davenport's. There is a large brick exterior chimney and wide overhanging eaves. There are fixed windows over the aluminum sliding windows, in addition to the floor to ceiling walls of windows up to 28 feet wide.



Unit Decca



# Description of Architectural Styles of Residences-

## Charles Goodman House Unit Types

### Unit Atrium

This unit has a square floor plan and can appear to be one or two stories depending on the design options. The concrete block foundation is covered with brick. The upper wood frame story is covered in siding. The house has a flat roof with an atrium in the center. The atrium has large, fixed windows over awning windows.



Unit Atrium

### Unit #10

Robert Davenport designed Unit #10 based on Charles Goodman's 1958 Unit #8 design. The house is L-shaped with the exterior bays being 12 feet wide with two sheets of glass. The chimney is located on an interior wall. The exterior is clad with vertical siding, and a cross-gable roof with overhanging eaves.



Unit #10

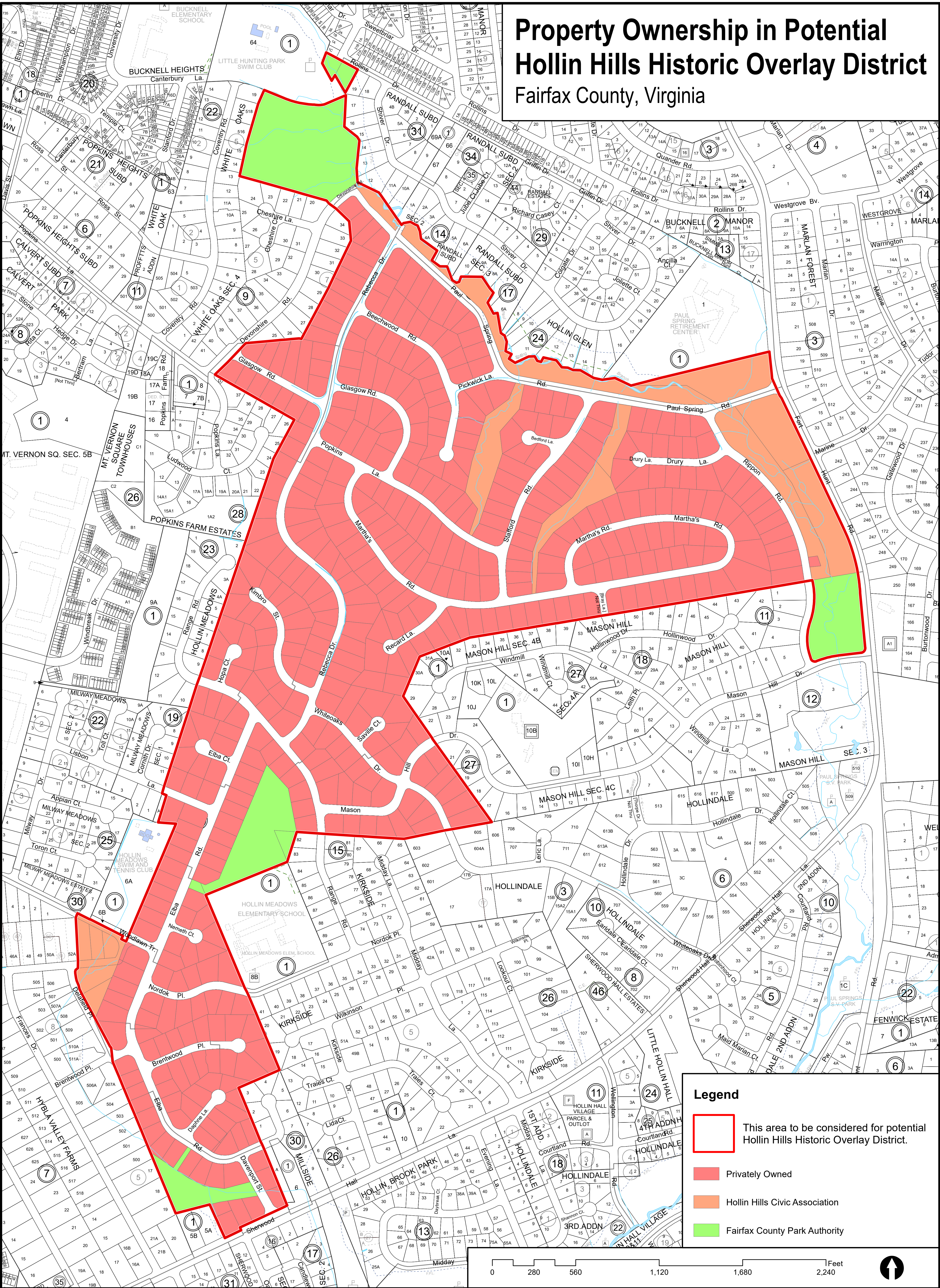


Attachment 9 – Potential Hollin Hills HOD Maps required per the Zoning Ordinance:  
Ownership Map, Existing Land Use Map, Planned Land Use Map, Existing Zoning Map  
and Access Map



# Property Ownership in Potential Hollin Hills Historic Overlay District

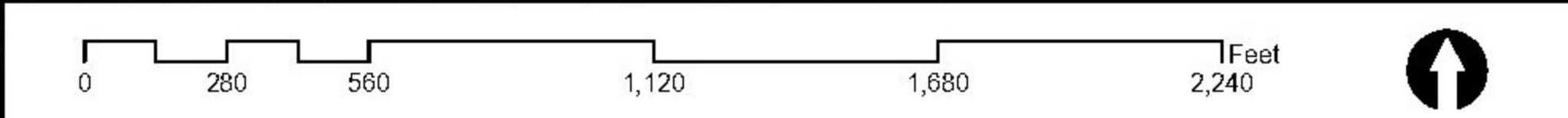
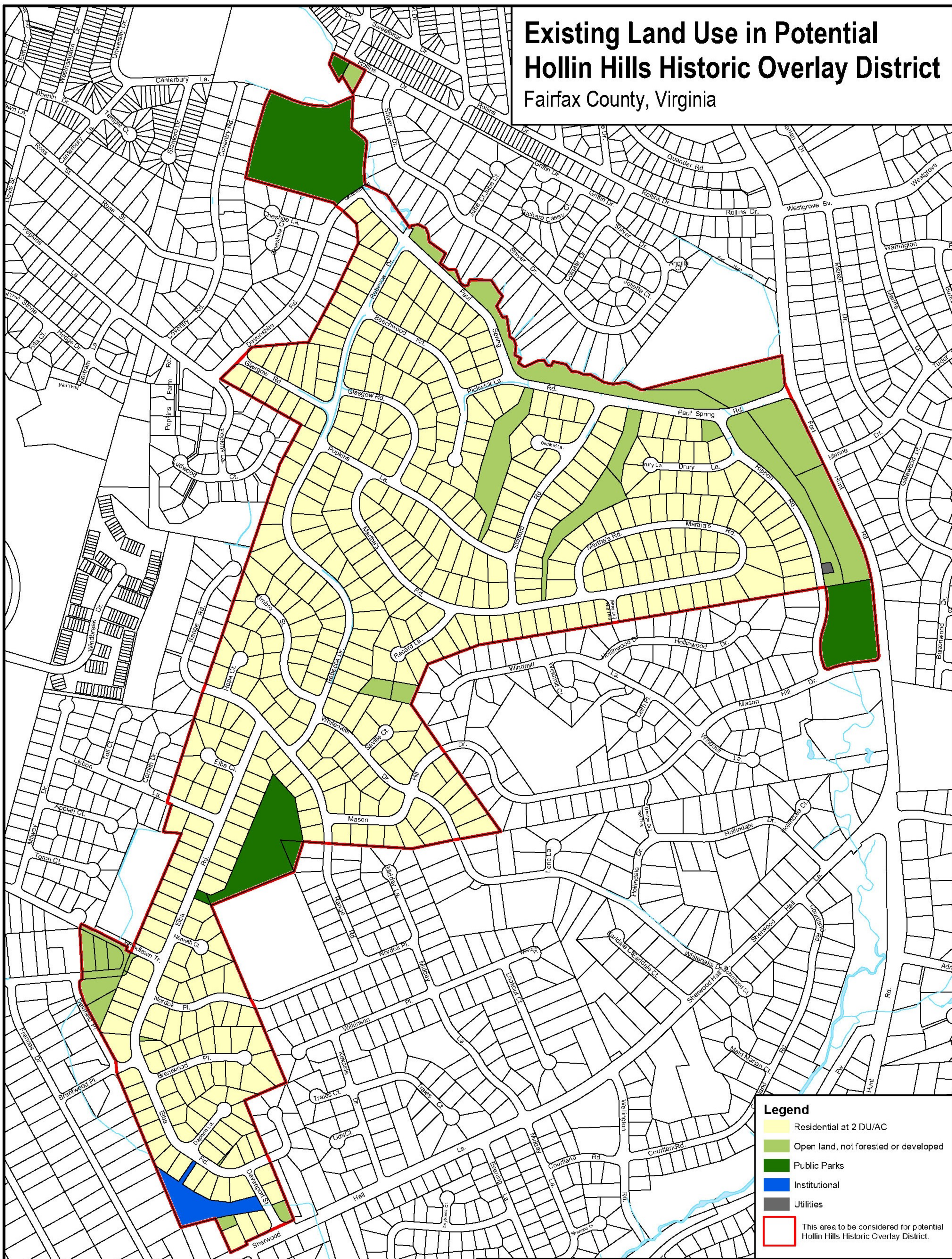
Fairfax County, Virginia





# Existing Land Use in Potential Hollin Hills Historic Overlay District

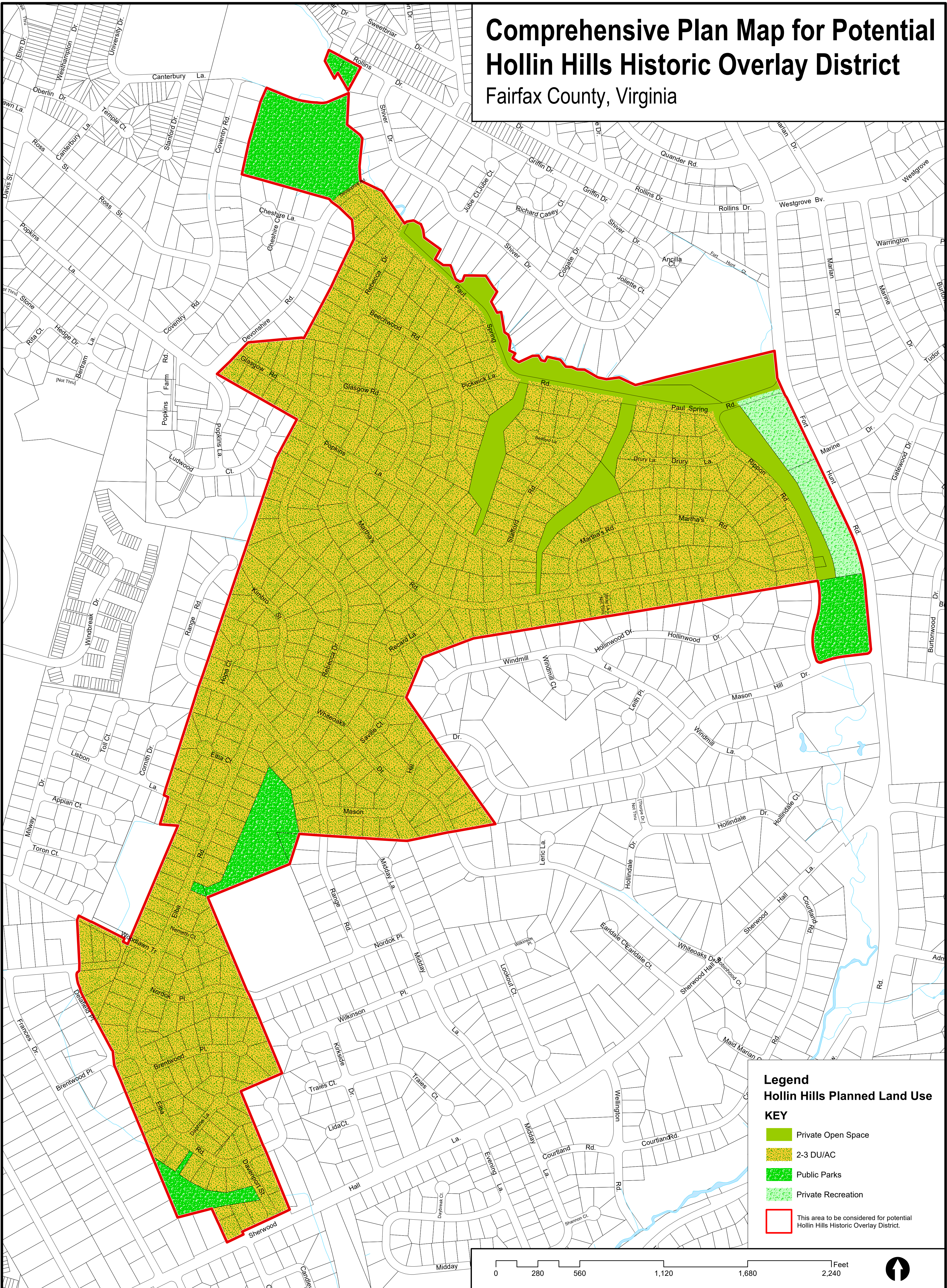
Fairfax County, Virginia





# Comprehensive Plan Map for Potential Hollin Hills Historic Overlay District

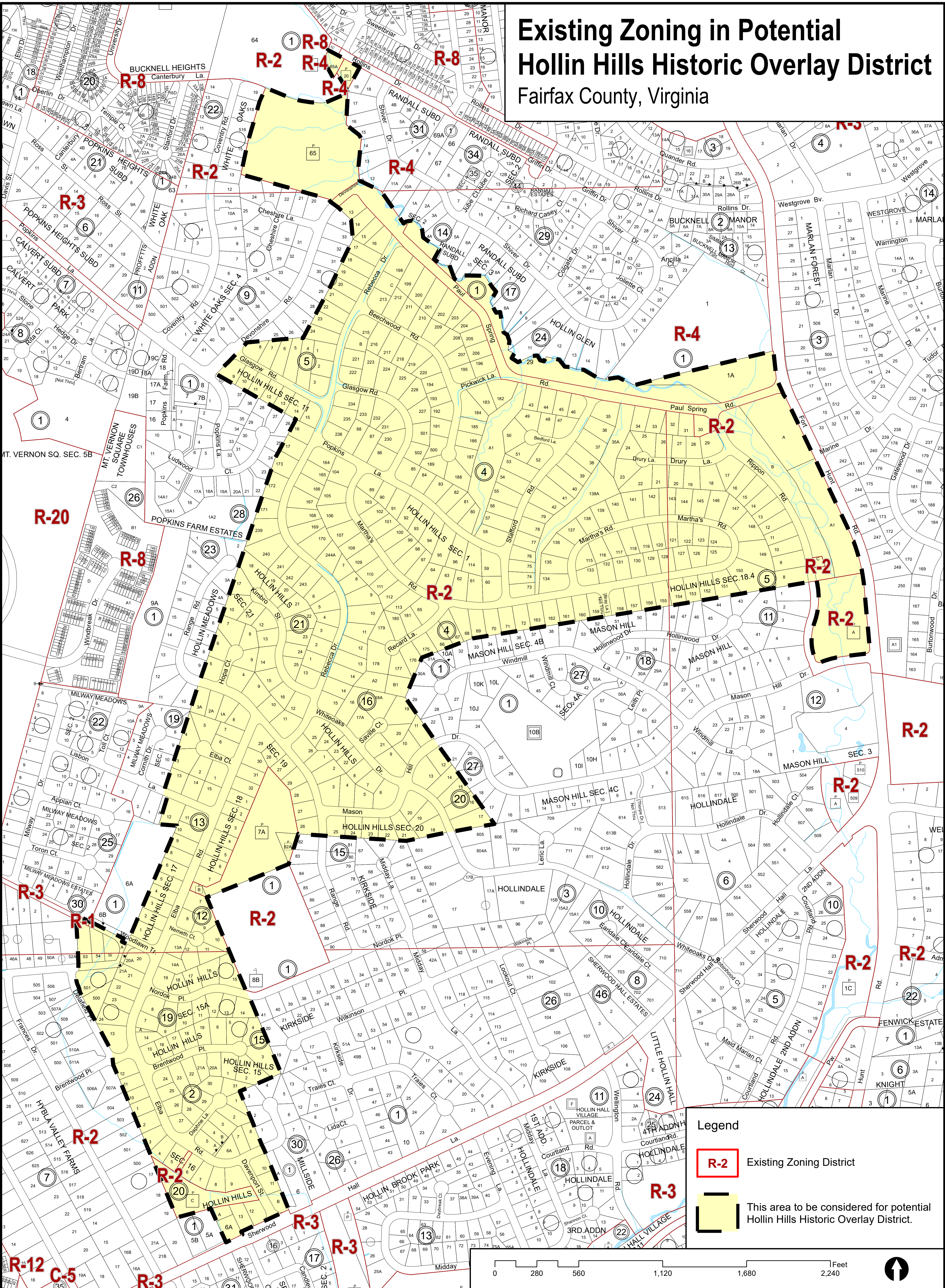
Fairfax County, Virginia





# Existing Zoning in Potential Hollin Hills Historic Overlay District

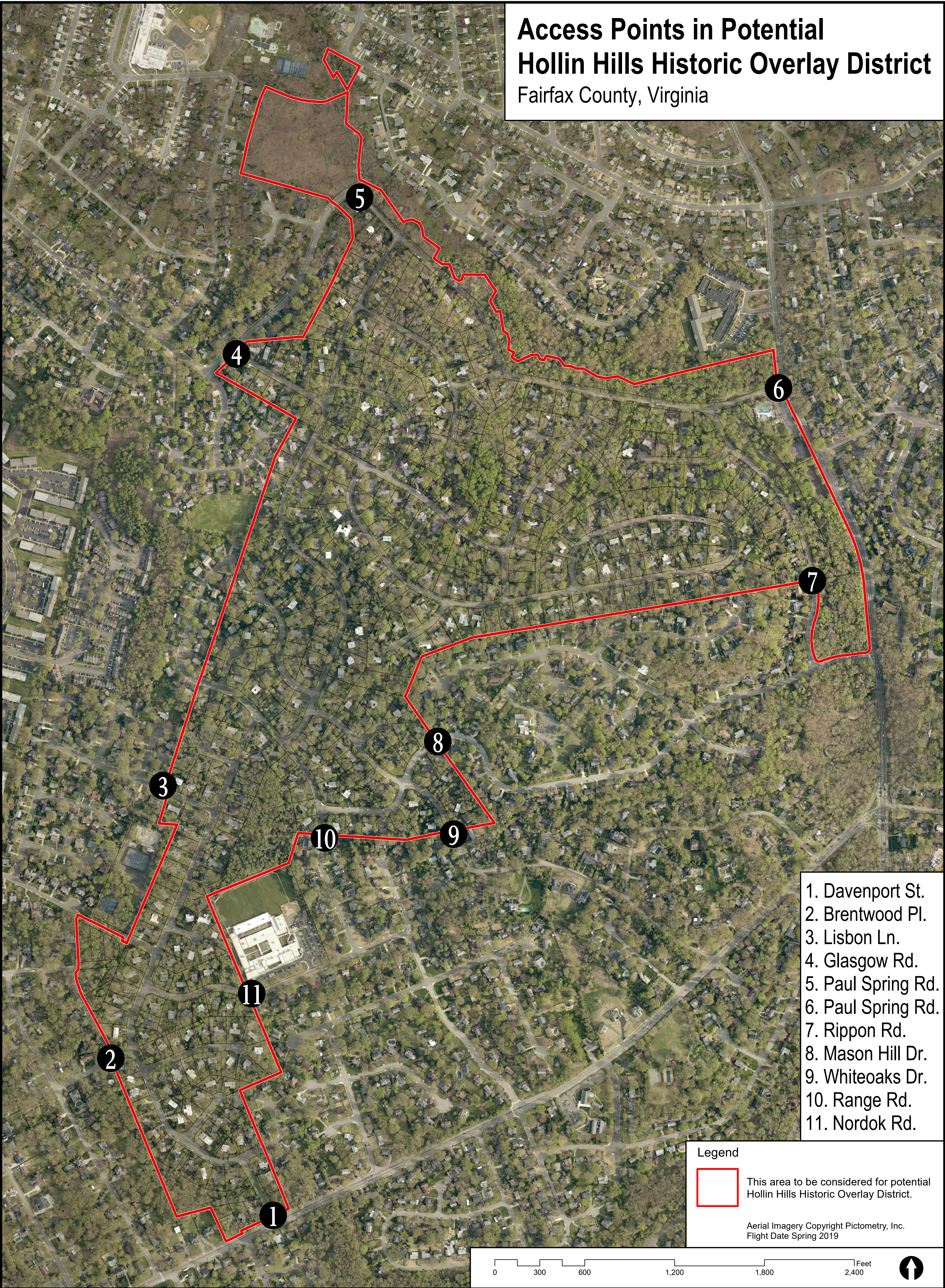
Fairfax County, Virginia





# Access Points in Potential Hollin Hills Historic Overlay District

Fairfax County, Virginia

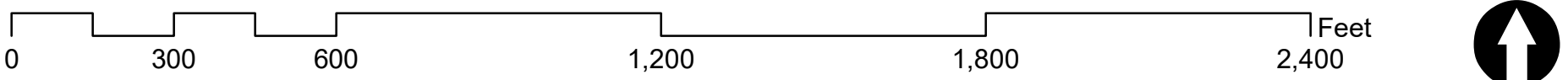


- 1. Davenport St.
- 2. Brentwood Pl.
- 3. Lisbon Ln.
- 4. Glasgow Rd.
- 5. Paul Spring Rd.
- 6. Paul Spring Rd.
- 7. Rippon Rd.
- 8. Mason Hill Dr.
- 9. Whiteoaks Dr.
- 10. Range Rd.
- 11. Nordok Rd.

**Legend**

 This area to be considered for potential Hollin Hills Historic Overlay District.

Aerial Imagery Copyright Pictometry, Inc.  
Flight Date Spring 2019



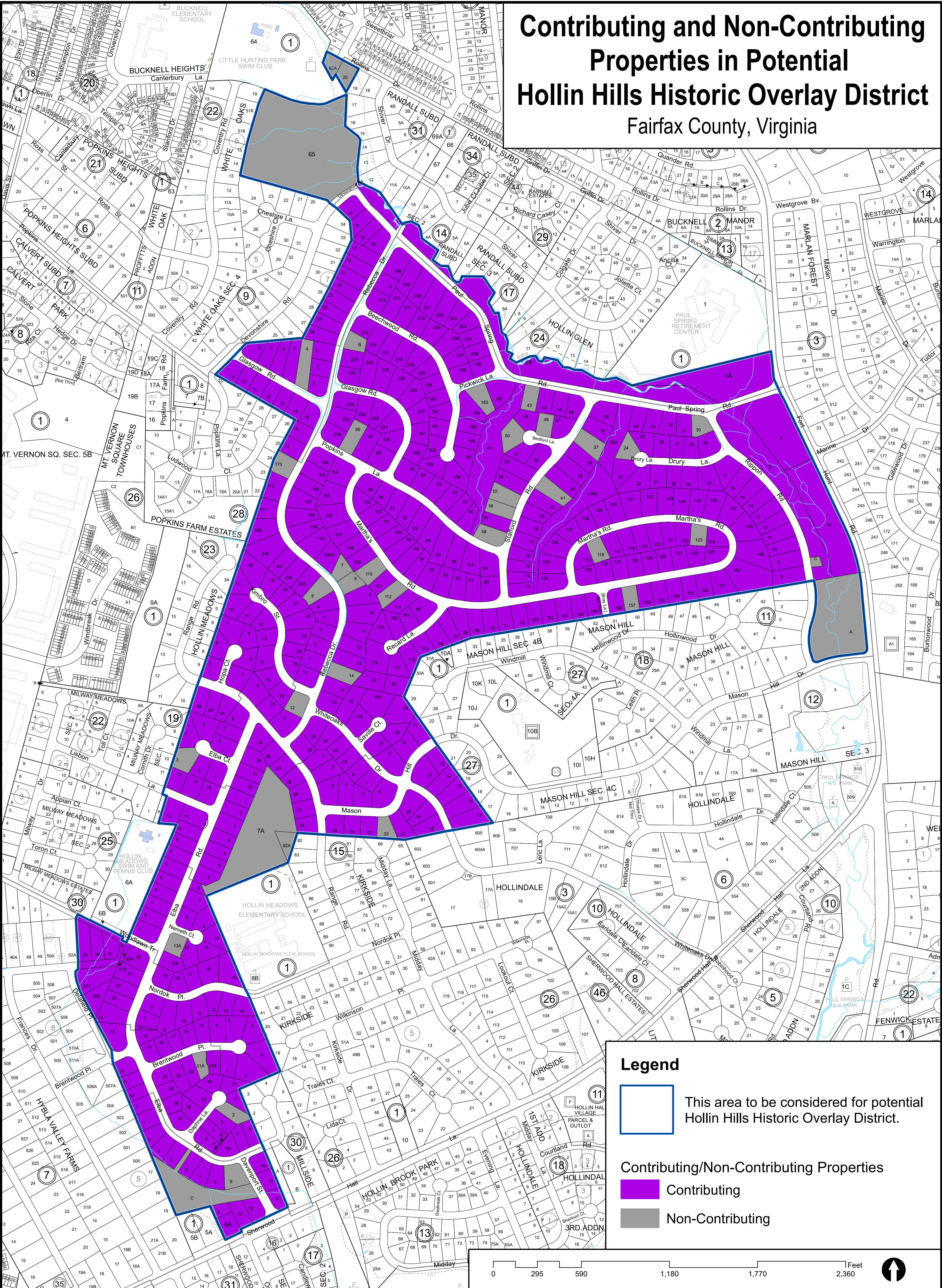


Attachment 10 – Map of Contributing and Non-Contributing Properties within the Potential Hollin Hills HOD and list with description, condition and modifications noted



# Contributing and Non-Contributing Properties in Potential Hollin Hills Historic Overlay District

Fairfax County, Virginia





## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
1	0931 01 0065	7100 Devonshire	NC	N/A	Owned by Fairfax County Park Authority, part of White Oaks Park
2	0931 01 0065A	2241 Rollins	NC	N/A	Owned by Fairfax County Park Authority, part of White Oaks Park
3	0931 31 0020	2237 Rollins	NC	N/A	Owned by Fairfax County Park Authority, part of White Oaks Park.
4	0933 01 0007A	7603 Elba Road	NC	N/A	Path to Hollin Meadows Elem. School, part of Hollin Meadows Park
5	0933 01 0029	Paul Spring Stream Valley Park (n of Paul	C	N/A	Civic Association of Hollin Hills Open Space
6	0933 0204A	no address (lot a south of	C	N/a	Civic Association of Hollin Hills Open Space
7	0933 04 A1	no address (Brickelmaier	C	N/A	Civic Association of Hollin Hills Open Space
8	0933 04 A2	no address (adj to 7411 Recard	C	N/A	Vacant private property
9	0933 04 B	7203 REBECCA DR	NC	Good	House Unit #2 was constructed in 1954. In 1958 an addition was added on the Northwest elevation. In 1966 an addition was added on the Southwest elevation. In 1981 an addition was added on the Southeast elevation. In 2017 a one story addition was added on the Southwest elevation was added. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the
10	0933 04 B1	no address (adj to 7409 Recard	C	N/A	Vacant private property
11	0933 04 C	7105 REBECCA DR	C	Good	House Unit #6 was constructed in 1953. In 1984 an addition was added on the South elevation.
12	0933 04 0001	7418 REBECCA	C	Good	House Unit Custom was constructed in 1961.
13	0933 04 0002	7416 REBECCA	C	Good	House Unit #5CS was constructed in 1961.
14	0933 04 0003	7414 REBECCA DR	C	Good	House Unit Custom was constructed in 1961. In 1985 an addition was added on the Northeast elevation.
15	0933 04 0004	7412 REBECCA DR	C	Good	House Unit #2B42LB was constructed in 1964. In 1975 an addition was added on the Southeast elevation.
16	0933 04 0005	7408 REBECCA DR	C	Good	House Unit Custom was constructed in 1961.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
17	0933 04 0006	7404 REBECCA DR	NC	Good	House Unit Custom was constructed in 1968. In 1990 an addition was added on the Southwest elevation. The dwelling was designed by Rick Ekstrom. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
18	0933 04 0007	7405 REBECCA DR	NC	Good	House Unit Custom was constructed in 1973. The dwelling was designed by Tom Kerns. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
19	0933 04 0008	7407 REBECCA DR	NC	Good	House Unit Custom was constructed in 1988. In 2013 a one story addition was added on the Northwest elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
20	0933 04 0009	7409 REBECCA DR	C	Good	House Unit #2B42LB was constructed in 1956.
21	0933 04 0010	7411 REBECCA DR	C	Good	House Unit Custom was constructed in 1958. In 1982 an addition was added on the East elevation.
22	0933 04 0011	7413 REBECCA DR	C	Good	House Unit #8 was constructed in 1959.
23	0933 04 0012	7415 REBECCA DR	C	Good	House Unit #5CS was constructed in 1970.
24	0933 04 0013	7417 REBECCA DR	C	Good	House Unit 2B42LB or #8 variation was constructed in 1958.
25	0933 04 0014	7419 REBECCA DR	NC	Good	House Unit Custom was constructed in 1996. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
26	0933 04 0021	1815 DRURY LN	C	Good	House Unit #2 was constructed in 1949.
27	0933 04 0022	1817 DRURY LN	C	Good	House Unit #1 variation was constructed in 1949. In 1950 an addition was added on the West elevation. In 1978 an addition was added on the South elevation.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
28	0933 04 0023	1819 DRURY LN	C	Good	House Unit #1 variation was constructed in 1950. In 1964 an addition was added on the West elevation. In 2007 an addition was added on the West elevation. In 2011 an addition was added on the South elevation.
29	0933 04 0024	1820 DRURY LN	NC	Good	House Unit #2 was constructed in 1950. In 1950 a carport addition was added on the East elevation. In 1955 an addition was added on the West elevation. In 1992 an addition was added on the East elevation.
30	0933 04 0025	1816 DRURY LN	C	Good	House Unit #2 was constructed in 1950. In 1953 an addition was added on the Northwest elevation. In 2007 a one story addition was added on the Northeast and Northwest elevation.
31	0933 04 0026	1814 DRURY LN	C	Good	House Unit #2 was constructed in 1949. In 1960 an addition was added on the Northeast elevation.
32	0933 04 0033	1813 PAUL SPRING RD	C	Good	House Unit #2 was constructed in 1950.
33	0933 04 0034	1901 PAUL SPRING RD	C	Good	House Unit #2 was constructed in 1950. In 1977 a one story addition was added on the South corner of the dwelling. In 1990 a second story addition was added over the Southeast elevation.
34	0933 04 0035	1909 PAUL SPRING RD	C	Good	House Unit #2 was constructed in 1950. In 2019 there are additions on the East and South elevation.
35	0933 04 0035A	1905 PAUL SPRING RD (Charles Goodman Park N)	C	N/A	Paul Spring Park, owned by Civic Association of Hollin Hills; open space
36	0933 04 0036	7217 STAFFORD RD	C	Good	House Unit #2 was constructed in 1950. In 1981 an addition was added on the East elevation. In 1988 an addition was added on the West elevation. In 2015 a carport addition was added on the North elevation.
37	0933 04 0037	7219 STAFFORD RD	NC	Good	House Unit #2 was constructed in 1950. In 1983 an addition was added on the Northeast elevation.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
38	0933 04 0038	7221 STAFFORD RD	C	Good	House Unit #2 was constructed in 1950. In 1959 an addition was added on the Northeast elevation. In 2017 a porch was enclosed on the Northwest elevation.
39	0933 04 0039	7223 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. In 1959 a porch was enclosed on the East elevation. In 1961 an addition was added on the South elevation. In 1970 a one story addition was added on the West elevation.
40	0933 04 0040	7301 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. In 1959 an addition was added on East, West, and South elevation.
41	0933 04 0041	7303 STAFFORD RD	NC	Good	House Unit #2 was constructed in 1952. In 1953 an addition was added on the East and West elevation. In 1976 an addition was added on the West elevation.
42	0933 04 0042	7305 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. In 1988 an addition was added on the North and West elevation. In 2008 an addition was added on the North elevation.
43	0933 04 0043	2007 PAUL SPRING RD	NC	N/A	The dwelling was demolished. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
44	0933 04 0044	2005 PAUL SPRING RD	C	Good	House Unit #2 was constructed in 1950.
45	0933 04 0045	2003 PAUL SPRING RD	C	Good	House Unit #2 was constructed in 1950. In 1955 a second story addition perpendicular to the length of the dwelling was added to the South elevation. In 1991 additions on the East and West elevations were added. In 1991 an addition on the North elevation was added.
46	0933 04 0046	7216 STAFFORD RD	C	Good	House Unit #2 was constructed in 1950. In 1953 an addition was added on the East elevation. In 1968 an addition was added on the South elevation.
47	0933 04 0047	7218 STAFFORD RD	C	Good	House Unit #2 was constructed in 1950. In 1963 an addition was added on the Northwest elevation. In 1968 an addition was added on the Southwest elevation. In 1995 a one story addition was added on the Southeast elevation. In 1997 an addition was added on the Southwest elevation.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
48	0933 04 0048	2002 BEDFORD LN	NC	Good	House Unit #2 originally constructed in 1952. In 1955 a one-story addition was added on the Northeast elevation. In 1957 a screened in porch was added on the Southwest elevation. In 1961 an addition was added on the Northeast elevation. In 1976 a garage addition was added on the Northeast elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
49	0933 04 0049	2004 BEDFORD LN	C	Good	House Unit #2 was constructed in 1950. A carport was added in 1952 and a two-story addition by Eason Cross was added in 1961 at the rear of the structure. There were two minor additions in 1989 on the front and side elevations which modified the entrance.
50	0933 04 0050	2005 BEDFORD LN	NC	Good	House Unit #2 was constructed in 1950. In 1961 an addition was added on the Northwest elevation, designed by Eason Cross. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
51	0933 04 0051	2003 BEDFORD LN	C	Good	House Unit #1 was constructed in 1950. In 1961 an addition was added on the Southeast elevation, with modifications in window sizes. Further a large wooden fence was installed.
52	0933 04 0052	2001 BEDFORD LN	C	Good	House Unit #1 was constructed in 1950. In 1972 an addition was added on the South elevation.
53	0933 04 0053	7304 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. In 1956 an addition was added on the North elevation. In 1998 an addition was added on the North elevation.
54	0933 04 0054	7306 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. In 1961 a fallout shelter was constructed. In 1985 n addition was added on the West elevation. In 1989 an addition was added on the East and South elevations.
55	0933 04 0055	7308 STAFFORD RD	NC	Good	House Unit #2 was constructed in 1951. In 1981 an addition was added on the East elevation. In 1985 an addition was added on the North elevation. The additions overwhelm the massing and do not fit with the modern esthetic. For these reasons the structure was changed from contributing to non-contributing.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
56	0933 04 0056	7310 STAFFORD RD	NC	Good	House Unit #2 was constructed in 1950. In 1970 an addition was added on the East elevation. In 1970 an addition was added on the North elevation. The additions cover up the chimney and majority of the facades are covered on the additions. For these reasons the change from contributing to non-contributing.
57	0933 04 0057	7312 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. There was an addition to the dwelling.
58	0933 04 0058	7314 STAFFORD RD	NC	Good	House Unit #2 was constructed in 1951. In 1974 an addition was added on the North elevation. In 1987 an addition was added on the North and East elevation. In 1990 an addition was added on the West elevation. In 2000 a one-story addition designed by Eason Cross Jr. was added. The multiple additions overwhelming most of the facades.
59	0933 04 0059	7316 STAFFORD RD	C	Good	House Unit #1B was constructed in 1950.
60	0933 04 0060	2100 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1951.
61	0933 04 0061	2102 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1971 additions on the East and West elevation were added.
62	0933 04 0062	2104 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1956 an addition on the Southwest elevation was added. In 1977 an addition was added, designed by Eason Cross.
63	0933 04 0063	2106 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1956 a carport addition was added to the Southwest elevation. In 2013 a second story addition was added above the existing carport.
64	0933 04 0064	2200 MARTHAS RD	C	Good	House Unit #2B4K4 was constructed in 1952. In 1957 an addition to the Northeast elevation was added. In 1997 an addition to the Northeast elevation was added, designed by Eason Cross. In 2002 on the Southwest and Southeast elevations additions were added, also designed by Eason Cross.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
65	0933 04 0065	2107 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1976 a two-story addition to the West elevation was added, and a greenhouse addition was added to the South elevation.
66	0933 04 0066	7403 RECARD LN	C	Good	House Unit #2 was constructed in 1952. In 1957 an addition was added on the Southwest elevation. In 1987 a tower addition was added on the Southeast elevation.
67	0933 04 0067	7401 RECARD LN	C	Good	House Unit #2 was constructed in 1952. In 1970 a one story addition was added on the North elevation.
68	0933 04 0068	2105 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 2015 a single-story addition was added to the East elevation.
69	0933 04 0069	2103 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1978 an addition on the South elevation was added.
70	0933 04 0070	2101 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1990 a one story addition to the South elevation was added.
71	0933 04 0071	2009 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1953 a carport was added to the Southeast corner of the dwelling. In 1980 additions to the South and East elevations were added. In 1983 a two story addition was added to the South elevation.
72	0933 04 0072	2007 MARTHAS RD	C	Good	House Unit #4 was constructed in 1951. In 1957 an addition on the South elevation was designed by Casper Neer. In 1966 on the East elevation an addition was added by George Hartman.
73	0933 04 0073	7319 STAFFORD RD	C	Good	House Unit #4 was constructed in 1952.
74	0933 04 0074	7317 STAFFORD RD	C	Good	House Unit #4 was constructed in 1952. In 1957 an addition was added on the Northeast elevation.
75	0933 04 0075	7315 STAFFORD RD	C	Good	House Unit #4 was constructed in 1952.
76	0933 04 0076	7313 STAFFORD RD	C	Good	House Unit #2B42LB was constructed in 1953. In 1961 an addition was added on the North elevation.
77	0933 04 0077	7311 STAFFORD RD	C	Good	House Unit #2B42LB was constructed in 1952.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
78	0933 04 0078	7309 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. In 1953 an addition was added on the West and South elevation. In 1957 an addition was added on the North elevation. In 1986 an addition was added on the West elevation.
79	0933 04 0079	7307 STAFFORD RD	C	Good	House Unit #2 was constructed in 1952. In 1959 an addition was added on the North and West elevation. In 1968 an addition was added on the South elevation.
80	0933 04 0080	2106 POPKINS LN	C	Good	House Unit #2B42LB was constructed in 1952.
81	0933 04 0081	2108 POPKINS LN	C	Good	House Unit #2B42LB was constructed in 1952. In 1977 an addition was added to the North elevation.
82	0933 04 0082	2110 POPKINS LN	C	Good	House Unit #2B42LB was constructed in 1952. In 1981 an Eason Cross museum addition was added to the West elevation. In 1983 the previous addition was enlarged.
83	0933 04 0083	2112 POPKINS LN	C	Good	House Unit #2B42LB was constructed in 1953. In 1954 a carport addition and a one story addition was added to the South elevation.
84	0933 04 0084	2114 POPKINS LN	C	Good	House Unit #2B42LB was constructed in 1953. In 1955 a carport addition was added.
85	0933 04 0085	2200 GLASGOW RD	C	Good	House Unit #2 was constructed in 1952. In 1964 there was a Casper Neer addition to the East elevation.
86	0933 04 0086	2200 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1958 an addition was added to the West elevation.
87	0933 04 0087	2202 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1963 two additions were added to the North elevation. In 2014 another addition was added to the North elevation.
88	0933 04 0088	2204 POPKINS LN	NC	Good	House Unit #2 was constructed in 1997. The original dwelling burned down and was then rebuilt as a replica of the original. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
89	0933 04 0089	2220 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1990 an addition to the dwelling was added.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
90	0933 04 0090	2117 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1968 an addition was added on the North elevation. In 1970 an addition to the South elevation was added. In 1978 the existing garage was converted into a study and a carport was added on the North elevation.
91	0933 04 0091	2115 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1994 an addition was added to the dwelling. In 2003 an addition was added to the East elevation.
92	0933 04 0092	2113 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1976 a one story addition was added to the West elevation. In 2008 a screened in porch was added to the West elevation.
93	0933 04 0093	2111 POPKINS LN	C	Good	House Unit #1 was constructed in 1952. In 1988 a one story addition on the West elevation. In 1994 an addition was added to the South elevation.
94	0933 04 0094	2109 POPKINS LN	C	Good	House Unit #1B was constructed in 1952. In 1998 there was a rear addition designed by Christine A. Leonard.
95	0933 04 0095	2107 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1985 a carport addition was added to the North elevation, designed by Robert Fina.
96	0933 04 0096	2105 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1976 an addition was added to the rear of the dwelling. In 2007 another addition was added to the rear of the dwelling. In 2011 on the East side of the dwelling there is an addition.
97	0933 04 0097	2202 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1952. There was a two-story addition to the dwelling.
98	0933 04 0098	2204 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1952. In 2017 on the East elevation a two story addition was added.
99	0933 04 0099	2206 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1953 an addition on the West elevation was added, designed by Charles Goodman.
100	0933 04 0100	2208 MARTHAS RD	C	Good	House Unit #2 Butterfly was constructed in 1952.
101	0933 04 0101	2210 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1954 an addition on the Northeast elevation was added. In 2001 a one story addition on the North elevation was added.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
102	0933 04 0102	2212 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1969 Robert Calhoun Smith modified the dwelling for Minnie Odoroff, who was Robert Davenport's secretary.
103	0933 04 0103	2214 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1959 an addition was added on the North elevation. In 1967 an addition to the dwelling. In 1972 an addition to the dwelling.
104	0933 04 0104	2219 MARTHAS RD	C	Good	House Unit #2 was constructed 1952. In 1975 a one story addition was added to the Southeast elevation. In 1987 a one story addition was added to the Southeast elevation. In 1990 a one story addition was added to the Northwest elevation, designed by Robert Fina.
105	0933 04 0105	2217 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1955 an addition to the Northeast elevation was added. In 1975 the carport was enclosed on the Northeast elevation. In 2008 additions on the Northeast elevation. In 2009 a carport addition was added to the Southeast elevation. For these reasons the status has changed from the NR nomination of contributing to non-contributing for the potential Hollin Hills HOD.
106	0933 04 0106	2215 MARTHAS RD	C	Good	House Unit Custom was constructed in 1957.
107	0933 04 0107	2213 MARTHAS RD	C	Good	House Unit #2 Butterfly was constructed in 1952. In 1952 a carport and storage was added to the North elevation was added. In 1958 an addition on the East elevation was added.
108	0933 04 0108	2211 MARTHAS RD	C	Good	House Unit Custom was constructed in 1959. In 2017 a one story addition was added to the Northeast elevation.
109	0933 04 0109	2209 MARTHAS RD	C	Good	House Unit #4 was constructed in 1952. In 1957 an addition by Casper Neer was added to the Southwest elevation. In 1963 an addition on the Southeast elevation was added, designed by Casper Neer.
110	0933 04 0110	2207 MARTHAS RD	C	Good	House Unit #2 Butterfly was constructed in 1952. In 1993 a one story addition on the North elevation, designed by Robert Fina.
111	0933 04 0111	2205 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1965 an addition on the Southwest elevation was added, designed by Robert Calhoun Smith.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
112	0933 04 0112	2203 MARTHAS RD	NC	Good	House Unit #3 was constructed in 1952. In 1970 an addition to the North and South elevation was added. In 1995 an addition to the South elevation and the Northeast corner were added. For these reasons, the status has changed from the NR nomination of contributing to non-contributing for the potential Hollin Hills HOD.
113	0933 04 0113	2201 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In 1984 an addition was added to the dwelling.
114	0933 04 0114	2103 POPKINS LN	C	Good	House Unit #2 was constructed in 1952. In 1955 an addition was added to the South elevation, designed by Robert C. Smith.
115	0933 04 0115	1904 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952.
116	0933 04 0116	1908 MARTHAS RD	NC	Good	House Unit #2 was constructed in 1952. The dwelling was remodeled in 2003. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
117	0933 04 0117	1910 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952.
118	0933 04 0118	1912 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952.
119	0933 04 0119	1914 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952. In the 1980s there was a 2 story butterfly roofed addition by Patrick Collins.
120	0933 04 0120	1916 MARTHAS RD	C	Good	House Unit #3 was constructed in 1952.
121	0933 04 0128	1942 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1956 an addition on the Southeast elevation was added, designed by Casper Neer. In 1965 an addition was added to the Northwest elevation. In 1975 an addition was added to the Northwest elevation. In 2016 a one story addition was added to the Southeast elevation.
122	0933 04 0129	1944 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1999 there was an addition to the dwelling.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
123	0933 04 0130	1946 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1964 an addition to the West elevation was added. In 1970 an addition was added to the East elevation.
124	0933 04 0131	1948 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952.
125	0933 04 0132	1950 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1961 an addition to the West elevation was added.
126	0933 04 0133	1952 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1970 there was an addition to the dwelling.
127	0933 04 0134	2000 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1962 an addition on the Southwest elevation was added.
128	0933 04 0135	1903 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951. In 1955 there was an addition to the Northeast elevation.
129	0933 04 0136	1905 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1952. In 1995 there was an eight-foot addition to the front of the dwelling and a carport addition.
130	0933 04 0137	1907 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1952. In 1956 there was a side addition. In 1971 there was an addition on the opposite side.
131	0933 04 0138	1909 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1952. In 1987 an addition to the East elevation was added.
132	0933 04 0138A	no address (Charles Goodman Park S)	C	N/A	Vacant/open space; owned by the Civic Association of Hollin Hills
133	0933 04 0139	1911 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1952. In 1960 an addition to the East elevation was added.
134	0933 04 0140	1913 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1952. In 1955 there was a Sears Roebuck carport addition.
135	0933 04 0141	1915 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
136	0933 04 0142	1917 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1967 there was a front addition to. In 1969 there was a rear addition. In 1988 there was a side addition and in 2004 there was another addition.
137	0933 04 0155	1943 MARTHAS RD	C	Good	House Unit #2 variation was constructed in 1952.
138	0933 04 0156	1945 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1980 an addition to the East elevation was added.
139	0933 04 0157	1947 MARTHAS RD	NC	Good	House Unit #2 was constructed in 1952. In 1967 an addition to the East elevation was added. In 1977 an addition to the South elevation was added. In 1989 an addition to the North elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
140	0933 04 0158	1949 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952.
141	0933 04 0159	1951 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 2003 a one story addition to the East elevation was added.
142	0933 04 0160	1953 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951.
143	0933 04 0161	2001 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1968 an addition on the West elevation was added.
144	0933 04 0162	2003 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952.
145	0933 04 0163	2005 MARTHAS RD	C	Good	House Unit #2 was constructed in 1952. In 1988 an addition on the South elevation. In 2000 Eason Cross designed a one story addition to the North elevation.
146	0933 04 0164	7301 REBECCA DR	C	Good	House Unit #2 was constructed in 1953. In 1980 an addition was added on the Northeast elevation.
147	0933 04 0165	7303 REBECCA DR	C	Good	House Unit #2 was constructed in 1953. In 1965 an addition was added on the Southeast elevation. In 1993 an addition was added on the Northwest elevation.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
148	0933 04 0166	7305 REBECCA DR	C	Good	House Unit #2 was constructed in 1953. In 1960 an addition was added on the Northeast elevation. In 1974 an existing patio was enclosed.
149	0933 04 0167	7307 REBECCA DR	C	Good	House Unit #2 was constructed in 1953. In 1997 an addition was added on the Northeast elevation. In 2002 a one story addition was added on the Northeast elevation.
150	0933 04 0168	7315 REBECCA DR	C	Good	House Unit #2 was constructed in 1954. In 2011 a one story addition on the South elevation and a one story addition was added on the East elevation were added.
151	0933 04 0169	7321 REBECCA DR	C	Good	House Unit #3 was constructed in 1954. In 1994 a one story addition was added on the North elevation. There was also a carport addition was added on the West elevation.
152	0933 04 0170	7325 REBECCA DR	C	Good	House Unit Custom was constructed in 1952. In 1963 an addition on the East elevation was added and designed by Casper Neer. In 1968 an addition was added on the East elevation.
153	0933 04 0171	7312 REBECCA DR	C	Good	House Unit #2 was constructed in 1953. In 1959 an addition was added on the Northeast elevation. In 1975 an addition was added on the Northeast elevation.
154	0933 04 0172	7308 REBECCA DR	C	Good	House Unit #2 was constructed in 1954. In 1957 an addition was added on the North elevation. In 2017 an addition was added on the Northeast elevation.
155	0933 04 0173	7304 REBECCA DR	NC	Good	House Unit Sonoma Ranger was constructed in 1954. In 1979 an addition was added on the South elevation. In 2018 a two story addition was added on the North addition.
156	0933 04 0175	7405 RECARD LN	C	Good	House Unit #2 was constructed in 1952. In 1958 an addition was designed by Casper Neer and added on the West and South elevation.
157	0933 04 0176	7407 RECARD LN	C	Good	House Unit #2B42LB was constructed in 1952. In 1967 a one story addition was added on the Northeast elevation. In 1991 a one story addition and carport was added on Northwest elevation.
158	0933 04 0177	7409 RECARD LN	C	Good	House Unit #4 was constructed in 1953. In 1974 an addition was added on the Southeast elevation.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
159	0933 04 0178	7411 RECARD LN	C	Good	House Unit Custom was constructed in 1962. In 1962 an addition designed by Eason Cross was added on the West and South elevation.
160	0933 04 0179	7410 RECARD LN	C	Good	House Unit #3 was constructed in 1953. In 1999 an addition was added on the Southwest elevation. In 2015 an addition was added on the Southeast elevation.
161	0933 04 0180	7408 RECARD LN	C	Good	House Unit #3 was constructed in 1953. In 1971 an addition was added on the Southeast elevation. In 2002 an addition was added on the Northwest elevation. In 2017 an addition was added on the Northwest elevation.
162	0933 04 0181	7406 RECARD LN	C	Good	House Unit #2 was constructed in 1953. In 1993 a one story addition was added on the South elevation and another on the West elevation. In 2006 a carport addition designed by Eason Cross was added on the West elevation.
163	0933 04 0182	2101 PICKWICK LN	C	Good	House Unit #2 was constructed in 1952. In 1953 an addition and carport were added on the North elevation. In 2003 a one story addition was added to the dwelling, designed by Joseph Wheeler.
164	0933 04 0183	2103 PICKWICK LN	NC	Good	House Unit #2 was constructed in 1952. In 1953 a breezeway and Carport addition was added to the West elevation. In 1978 a second story addition was added to the South elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
165	0933 04 0184	7217 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1952.
166	0933 04 0185	7219 BEECHWOOD RD	C	Good	House Unit #2B42LB was constructed in 1952 with a peekaboo window at the entry.
167	0933 04 0186	7221 BEECHWOOD RD	C	Good	House Unit #2B42LB was constructed in 1952. In 1961 an addition was added on the Southwest elevation. In 1997 an addition was added on the Northwest elevation. In 2006 an addition was added on the Northwest elevation.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
168	0933 04 0187	7223 BEECHWOOD RD	C	Good	House Unit #2B42LB was constructed in 1953.
169	0933 04 0188	7225 BEECHWOOD RD	C	Good	House Unit #2B42LB was constructed in 1952.
170	0933 04 0189	7224 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1953. In 1968 an addition was added on the South elevation. Photos of this property were used by AIA in 10 most significant houses in 1st half of 20th century.
171	0933 04 0191	7220 BEECHWOOD RD	C	Good	House Unit #6 was constructed in 1953. In 1970 a one story addition was added on the East elevation. In 1973 an addition was added on the West elevation.
172	0933 04 0192	7218 BEECHWOOD RD	C	Good	House Unit #6 was constructed in 1953. In 2008 an addition was added on the Southwest elevation.
173	0933 04 0193	7216 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1953. In 1967 an addition was added on the Southwest elevation.
174	0933 04 0194	7214 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1953. In 1970 an addition was added on the Northwest elevation. In 1972 an addition was added on the Southeast elevation. In 2002an addition was added on the Northeast elevation.
175	0933 04 0195	2104 PICKWICK LN	C	Good	House Unit #2 was constructed in 1953. In 1953 an addition on the Southwest elevation was added. In 1960 a two story addition was added to the Southwest elevation was added, designed by Casper Neer. In 1975 the porch was enclosed.
176	0933 04 0196	2100 PICKWICK LN	C	Good	House Unit #2 was constructed in 1952. In 1972 an addition was added to the South elevation. In 1982 an addition on the East elevation was added.
177	0933 04 0198	2121 PAUL SPRING RD	C	Good	House Unit #6 was constructed in 1953. In 1984 an addition to the South elevation was added.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
178	0933 04 0199	2119 PAUL SPRING RD	C	Good	House Unit #6 was constructed in 1953.
179	0933 04 0200	2117 PAUL SPRING RD	C	Good	House Unit #6 was constructed in 1953. In 1996 an addition to the dwelling was added.
180	0933 04 0201	2115 PAUL SPRING RD	C	Good	House Unit #1B was constructed in 1953. In 1956 an addition was added to the South elevation. In 1964 an addition to the East elevation was added.
181	0933 04 0202	2113 PAUL SPRING RD	C	Good	House Unit #5A was constructed in 1953. In 1956 an addition on the North elevation was added. In 1977 an addition was added on the South elevation. In 1996 a two story addition was added to the South elevation.
182	0933 04 0203	2111 PAUL SPRING RD	C	Good	House Unit #5A was constructed in 1953.
183	0933 04 0204	2109 PAUL SPRING RD	C	Good	House Unit #6 was constructed in 1953. In 1969 an addition on the South elevation was added, designed by Robert Calhoun Smith. In 1981 an addition on the South elevation was added.
184	0933 04 0205	2105 PAUL SPRING RD	C	Good	House Unit #2 Butterfly was constructed in 1953.
185	0933 04 0206	2103 PAUL SPRING RD	C	Good	House Unit #5A was constructed in 1952. In 1966 an addition was added on the South elevation. In 2014 a one story addition was added to the South elevation.
186	0933 04 0207	7213 BEECHWOOD RD	C	Good	House Unit #5A was constructed in 1952. In 1966 an addition was added on the East elevation.
187	0933 04 0208	7211 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1952. In 1975 an addition was added on the North elevation.
188	0933 04 0209	7209 BEECHWOOD RD	C	Good	House Unit #2 variation was constructed in 1953.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
189	0933 04 0210	7207 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1952.
190	0933 04 0211	7205 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1953. In 1962 an addition designed by Eason Cross was added on the East elevation.
191	0933 04 0212	7203 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1952. In 1964 an addition designed by Eason Cross was added on the Southwest elevation.
192	0933 04 0213	7201 BEECHWOOD RD	C	Good	House Unit #2B42LB was constructed in 1953.
193	0933 04 0215	7200 BEECHWOOD RD	C	Good	House Unit #2B42LB was constructed in 1954. In 1955 and 1956 a carport and porch were added by Casper Neer. In 1966 the carport was converted into a master bedroom and a foyer was added by Robert Calhoun Smith.
194	0933 04 0216	7202 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1952. In 1963 an addition was added to the South elevation. In 1967 a one-story addition was added to the South elevation. In 2000 a carport addition was added to the East elevation.
195	0933 04 0217	7204 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1953. In 1973 an addition was added on the West elevation.
196	0933 04 0218	7206 BEECHWOOD RD	C	Good	House Unit #2 was constructed in 1953. In 1959 a two-story addition was added on the North elevation.
197	0933 04 0219	7210 BEECHWOOD RD	C	Good	House Unit #2 or #3 was constructed in 1953. In 1955 an addition was added on the South elevation.
198	0933 04 0220	7212 BEECHWOOD RD	C	Good	House Unit #5A was constructed in 1952. In 1960 an addition was added on the on the North elevation.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
199	0933 04 0221	7207 REBECCA DR	C	Good	House Unit #5B was constructed in 1953. In 1966 an addition was added on the Northeast elevation. In 1973 an addition was added on the Southwest elevation.
200	0933 04 0222	2232 GLASGOW RD	C	Good	House Unit #2B42LB was constructed in 1953.
201	0933 04 0223	2228 GLASGOW RD	C	Good	House Unit #2 was constructed in 1953. There were extensive modifications done to the dwelling by Frank Gutches.
202	0933 04 0224	2224 GLASGOW RD	C	Good	House Unit #2B42LB was constructed in 1953. In 1968 an addition to the South elevation was added.
203	0933 04 0225	2220 GLASGOW RD	C	Good	House Unit #2b42LB was constructed in 1953. In 1957 an addition on the West elevation was added.
204	0933 04 0226	2216 GLASGOW RD	C	Good	House Unit Custom #2B42LB was constructed in 1954. There is a rear addition. Eason Cross did the front addition with a Plexiglas covering. It is the only house accessible by a bridge.
205	0933 04 0227	2212 GLASGOW RD	C	Good	House Unit #2B42LB was constructed in 1953. There were additions to the dwelling.
206	0933 04 0230	2205 GLASGOW RD	C	Good	House Unit #2 was constructed in 1953. In 1979 additions to the West and East elevation were added.
207	0933 04 0231	2213 GLASGOW RD	C	Good	House Unit #2 was constructed in 1953. In 1970 an addition to the South elevation was added.
208	0933 04 0232	2221 GLASGOW RD	C	Good	House Unit #2 was constructed in 1953. In 1988 there was a butterfly roof addition and a front addition to the dwelling.
209	0933 04 0233	2227 GLASGOW RD	C	Good	House Unit #2 Butterfly was constructed in 1953. In 1966 an addition to the Southwest elevation was added.
210	0933 04 0234	7211 REBECCA DR	C	Good	House Unit #5B was constructed in 1953.
211	0933 04 0235	7213 REBECCA DR	C	Good	House Unit #2 was constructed in 1953.
212	0933 04 0236	7215 REBECCA DR	C	Good	House Unit #2 was constructed in 1953.
213	0933 04 0239	7316 REBECCA DR	C	Good	House Unit Scholtz pre-fab home was constructed in 1956.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
214	0933 04 0240	7320 REBECCA DR	C	Good	House Unit Custom was constructed in 1956. The custom house was designed by Thomas W.D. Wright. In 1965 a two story addition was added on the East elevation. In 1992 an addition was added on the North elevation.
215	0933 04 0241	7322 REBECCA DR	C	Good	House Unit #5CS was constructed in 1954.
216	0933 04 0242	7326 REBECCA DR	C	Good	House Unit Custom #2B42LB was constructed in 1961.
217	0933 04 0243	7400 REBECCA DR	C	Good	House Unit #2B42LB was constructed in 1954.
218	0933 04 0244A	7401 REBECCA DR	C	Good	House Unit #5CS was constructed in 1955.
219	0933 04 0500	7222 BEECHWOOD RD	C	Good	House Unit #1B was constructed in 1953. Photos of this property were used by AIA in 10 most significant houses in 1st half of 20th century.
220	0933 04 0501	2208 GLASGOW RD	C	Good	House Unit #2 was constructed in 1954. In 1971 an addition to the Northwest was added. In 1990 an addition to the Northeast elevation was added.
221	0933 04 0502	2204 GLASGOW RD	C	Good	House Unit #5B was constructed in 1952.
222	0933 05 0001	7206 REBECCA DR	C	Good	House Unit #7L was constructed in 1954.
223	0933 05 0002	7208 REBECCA DR	C	Good	House Unit #3 was constructed in 1954. In 1971 a carport addition was added on the North elevation.
224	0933 05 0003	7210 REBECCA DR	C	Good	House Unit #7L was constructed in 1954.
225	0933 05 0004	2304 GLASGOW RD	NC	Good	House Unit #7L was torn down. The standing structure was rebuilt in 2006, it was designed by Suzanne Reatig. The carport was designed by Thomas Kuester. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.



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Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
226	0933 05 0005	2306 GLASGOW RD	C	Good	House Unit #7L was constructed in 1955.
227	0933 05 0006	2308 GLASGOW RD	C	Good	House Unit #7L was constructed in 1955. In 1965 a one story addition was added to the South elevation, designed by Eason Cross
228	0933 05 0007	2310 GLASGOW RD	C	Good	House Unit #7L was constructed in 1955. In 1972 an addition to the South elevation was added, designed by Tom Kerns. In 1990 an addition to the North elevation was added.
229	0933 05 0008	2312 GLASGOW RD	C	Good	House Unit #2B42LB was constructed in 1955. In 1958 a carport addition was added to the East elevation, designed by Casper Neer. In 1976 the carport was enclosed.
230	0933 05 0009	2313 GLASGOW RD	C	Good	House Unit #7L was constructed in 1955. In 1967 an Eason Cross addition on the South elevation was added.
231	0933 05 0010	2311 GLASGOW RD	C	Good	House Unit #7L was constructed in 1955. In 1964 an addition to the North elevation was added, designed by Eason Cross. In 2010 the carport was enclosed, by Rebecca Bostick.
232	0933 05 0011	2309 GLASGOW RD	C	Good	House Unit #7L was constructed in 1963. In 1963 a three story addition to the Southwest elevation, designed by Eason Cross. In 2004 another addition, one story, by Eason Cross was added to the Northeast elevation. It was owned and renovated by Eason Cross.
233	0933 05 0012	2307 GLASGOW RD	C	Good	House Unit #7L was constructed in 1955. In 2001 a one story addition to the Southeast elevation, designed by Eason Cross.
234	0933 05 0013	2305 GLASGOW RD	C	Good	House Unit #7L was constructed in 1955. In 1964 a one story addition to the West elevation.
235	0933 05 0014	2303 GLASGOW RD	C	Good	House Unit #7L was constructed in 1954.
236	0933 05 0015	7214 REBECCA DR	C	Good	House Unit #7L was constructed in 1954. In 1965 an addition was added on the Southeast elevation, designed by Eason Cross.
237	0933 05 0016	7216 REBECCA DR	C	Good	House Unit #7L was constructed in 1954. In 1992 an addition on the East elevation was added. In 2002 an addition was added to the West elevation.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
238	0933 05 0017	7300 REBECCA DR	C	Good	House Unit #2 variation was constructed in 1954. In 1973 an addition on the West elevation and another on the East elevation. In 1978 a one story garage addition was added to the North elevation. In 1978an addition was added to connect the dwelling and the garage. In 2002 a one story addition was added on the West elevation.
239	0933 09070013	2207 PAUL SPRING RD	C	Good	House Unit #7L was constructed in 1954.
493	0933 09070013 (adj. to)	property NE of 2207 Paul Spring Road	C	N/A	Right of Way/ owned by VDOT
240	0933 09070014	2205 PAUL SPRING RD	C	Good	House Unit #5B was constructed in 1954.
241	0933 09070015	2203 PAUL SPRING RD	C	Good	House Unit #5B was constructed in 1954.
242	0933 09070016	2201 PAUL SPRING RD	C	Good	House Unit #5B was constructed in 1954.
243	0933 09070017	7102 REBECCA DR	C	Good	House Unit #5B was constructed in 1954.
244	0933 09070018	7104 REBECCA DR	C	Good	House Unit Custom Butterfly was constructed in 1954.
245	0933 09070019	7106 REBECCA DR	C	Good	House Unit #5B was constructed in 1954.
246	0933 09070020	7108 REBECCA DR	C	Good	House Unit #2 variation was constructed in 1954.
247	0933 09070021	7110 REBECCA DR	C	Good	House Unit #5B was constructed in 1954.
248	0933 09070022	7200 REBECCA DR	C	Good	House Unit #5B was constructed in 1954.
249	0933 09070023	7202 REBECCA DR	C	Good	House Unit #5CS was constructed in 1954.
250	0933 09070024	7204 REBECCA DR	C	Good	House Unit #5CS was constructed in 1954.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
251	0933 12 0001	7612 ELBA RD	C	Good	House Unit Decca was constructed in 1962.
252	0933 12 0002	7610 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1962. In 1995 an addition on the Southeast elevation was added.
253	0933 12 0003	7608 ELBA RD	C	Good	House Unit #57, the Award was constructed in 1962. In 1967 there was a workshop and carport shed addition to the dwelling. In 1975 there was a greenhouse addition. There was no cupola on the dwelling.
254	0933 12 0004	7606 ELBA RD	C	Good	House Unit Custom Line was constructed in 1962.
255	0933 12 0005	7604 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1963.
256	0933 12 0006	7602 ELBA RD	C	Good	House Unit #260 was constructed in 1962.
257	0933 12 0007	7605 ELBA RD	C	Good	House Unit #57, the Award Special, was constructed in 1962.
258	0933 12 0008	2410 NEMETH CT	C	Good	House Unit #57, the Award, was constructed in 1962. In 1967 an addition was added to the North elevation. In 1969 a carport addition was added to the East elevation. In 1996 an addition on the North elevation was added.
259	0933 12 0009	2408 NEMETH CT	C	Good	House Unit Custom Line was constructed in 1962. In 1991 an addition on the North elevation was added. In 1963 a carport addition on the West elevation was added.
260	0933 12 0010	2406 NEMETH CT	C	Good	House Unit #57, the Award, was constructed in 1962. There was a cupola on the dwelling.
261	0933 12 0011	2405 NEMETH CT	C	Good	House Unit Custom Line was constructed in 1962.
262	0933 12 0012	2407 NEMETH CT	C	Good	House Unit #57, the Award, was constructed in 1962. There was an addition and a carport was added to the dwelling.
263	0933 12 0013A	7613 ELBA RD	NC	Good	House Unit #57, the Award, was constructed in 1962. In 1988 there was an addition by Patrick Collins over the entire first story of the original first story.
264	0933 12 0014A	7615 ELBA RD	C	Good	House Unit #260 was constructed in 1962.
265	0933 12 B	7603 Elba Road (park access/walkway )	C	N/A	Path to School - Forested parkland owned by the Fairfax County Park Authority, Hollin Meadows Park

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
266	0933 13 0001	7519 ELBA RD	C	Good	House Unit Custom Line was constructed in 1964. In 1986 the carport was enclosed.
267	0933 13 0002	7521 ELBA RD	C	Good	House Unit Custom Line or Main Line was constructed in 1964.
268	0933 13 0003	7523 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1963. In 2009 a one-story addition was added to the Southeast elevation.
269	0933 13 0004	7525 ELBA RD	C	Good	House Unit Custom Line was constructed in 1964. In 1974 the carport was enclosed on the West elevation. In 1990 there were two additions, one on the North elevation and one on the West elevation.
270	0933 13 0005	7527 ELBA RD	C	Good	House Unit #260 was constructed in 1969. In 1969 an addition to the Southeast elevation was added.
271	0933 13 0006	7529 ELBA RD	C	Good	House Unit Main Line was constructed in 1963. In 1966 an addition was added on the Northwest elevation. In 1997 an addition was added on the Southwest elevation.
272	0933 13 0007	7601 ELBA RD	C	Good	House Unit #260 was constructed in 1963.
273	0933 13 0008	7600 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1963. In 1972 an addition to the Northwest elevation was added. In 2000 an addition to the Southwest elevation was added.
274	0933 13 0009	7528 ELBA RD	C	Good	House Unit #260 was constructed in 1963. In 1976 there was an addition to the North elevation. In 1999 there was an addition to the West elevation.
275	0933 13 0010	7526 ELBA RD	C	Good	House Unit Main Line was constructed in 1963. In 1965 an addition was added to the South elevation.
276	0933 13 0011	2401 LISBON LN	C	Good	House Unit #57, the Award Special, was constructed in 1963. In 1965 a carport and storage addition to the West elevation was added. There was a cupola on the dwelling.
277	0933 13 0012	2403 LISBON LN	C	Good	House Unit Custom Line was constructed in 1963. In 1968 an addition to the North elevation and one to the South elevation were added.
278	0933 13 0013	2404 LISBON LN	C	Good	House Unit #57, the Award Special, was constructed in 1963.
279	0933 13 0014	2402 LISBON LN	C	Good	House Unit Custom Line was constructed in 1963. In 2014 a one story addition to the South elevation and carport to the west elevation were added.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
280	0933 13 0015	7520 ELBA RD	C	Good	House Unit Custom Line was constructed in 1964.
281	0933 15 0082A	no address (adj to Hollin meadows Park)	NC	N/A	Hollin Meadows park
282	0933 16 0001	2401 ELBA CT	C	Good	House Unit #2 was constructed in in 1965.
283	0933 16 0002	2403 ELBA CT	C	Good	House Unit #57, the Award Special, was constructed in 1964. In 1978 an addition was added on the East elevation. There was no cupola.
284	0933 16 0003	2405 ELBA CT	NC	Good	House Unit #57, the Award Special, was constructed in 1964. In 1969 an addition was added in the West elevation. In 1974 an addition was added on the West elevation.
285	0933 16 0004	2404 ELBA CT	C	Good	House Unit #57, the Award, was constructed in 1964. In 1975 an addition was added on the West elevation and on the East elevation the carport was enclosed and there was a storage addition. There was no cupola.
286	0933 16 0005	2402 ELBA CT	C	Good	House Unit Custom Line was constructed in 1964.
287	0933 16 0006	2400 ELBA CT	C	Good	House Unit #57, the Award Special, was constructed in 1964. There was no cupola on the dwelling.
288	0933 16 0007	7504 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1965. In 1971 an addition was added on the East elevation with a clerestory pop up.
289	0933 16 0008	7500 ELBA RD	C	Good	House Unit #2B42LB was constructed in 1966.
290	0933 16 0009	7419 RANGE RD	C	Good	House Unit Atrium was constructed in 1966.
291	0933 16 0010	7421 RANGE RD	C	Good	House Unit #57, the Award Special, was constructed in 1965.
292	0933 16 0011	7501 RANGE RD	C	Good	House Unit Main Line was constructed in 1965.
293	0933 16 0012	7424 REBECCA DR	NC	Good	House Unit Main Line or Custom Line was constructed in 1965. In 1969 an addition was added on the South elevation. In 1976 an addition was added on the East elevation and another on the North elevation. This structure was determined contributing to the National Register Historic District and was determined to be non-contributing by staff the potential Hollin Hills HOD.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
294	0933 16 0013	2300 KIMBRO ST	C	Good	House Unit #57, the Award, was constructed in 1965. In inn 1970 a one story addition was added to the East elevation. There is no cupola.
295	0933 16 0014	7421 REBECCA DR	C	Good	House Unit #7L was constructed in 1965.
296	0933 16 0015	7423 REBECCA DR	C	Good	House Unit #2B42LB was constructed in 1964.
297	0933 16 0016	2212 WHITEOAKS DR	C	Good	House Unit #5CS was constructed in 1965.
298	0933 16 0017A	2210 WHITEOAKS DR	C	Good	House Unit Decca or #2B42LB was constructed in 1966. In 1974 an addition was added on the South elevation.
299	0933 16 0018A	7422 SAVILLE CT	C	Good	House Unit Atrium was constructed in 1966. In 1979 an addition has been added on the West elevation.
300	0933 16 0019	7420 SAVILLE CT	C	Good	House Unit #8 variation was constructed in 1968.
301	0933 16 0020	7421 SAVILLE CT	C	Good	House Unit #6 was constructed in 1965.
302	0933 16 0021	7423 SAVILLE CT	C	Good	House Unit Decca was constructed in 1968.
303	0933 16 0022	2207 WHITEOAKS DR	C	Good	House Unit Custom Line was constructed in 1965.
304	0933 16 0023	2209 WHITEOAKS DR	C	Good	House Unit #2B42LB was constructed in 1965.
305	0933 16 0024	2211 WHITEOAKS DR	C	Good	House Unit #2B42LB was constructed in 1965.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
306	0933 16 0025	2213 WHITEOAKS DR	C	Good	House Unit Decca or #2B42LB was constructed in 1966. In 1973 an addition was added on the North elevation.
307	0933 16 0026	7427 REBECCA DR	C	Good	House Unit #57, the Award Special, was constructed in 1965. There was no cupola on the dwelling.
308	0933 16 0027	7504 RANGE RD	C	Good	House Unit Decca or #2B42LB was constructed in 1965. In 2013 an addition was added to the South elevation.
309	0933 16 0028	7502 RANGE RD	C	Good	House Unit #2B42LB was constructed in 1966. In 1968 an addition on the East elevations was added.
310	0933 16 0029	7501 ELBA RD	C	Good	House Unit #57, The Award, was constructed in 1965. There was a cupola on the dwelling. In 1979 an addition was added on the Southeast elevation.
311	0933 16 0030	7503 ELBA RD	C	Good	House Unit #57, The Award, was constructed in 1964.
312	0933 16 0031	7505 ELBA RD	C	Good	House Unit Main Lane was constructed in 1964. In 1977 an addition was added on the Southwest elevation. In 1990 an addition was added on the Northeast elevation.
313	0933 16 0032	7507 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1965. In 1964 an addition was added on the West elevation. In 1966 a carport addition was added on the West elevation.
314	0933 20 0001	7507 RANGE RD	C	Good	House Unit #2 variation was constructed in 1966. In 1982 a one story addition was added to the Northeast elevation.
315	0933 20 0002	7509 RANGE RD	C	Good	House Unit Atrium was constructed in 1966. In 1993 an addition on the South elevation was added. In 1998 a one story addition was added to the
316	0933 20 0003	7511 RANGE RD	C	Good	House Unit #57, the Award Special, was constructed in 1966. There was a carport on the West elevation.
317	0933 20 0004	2114 MASON HILL DR	C	Good	House Unit #57, the Award, was constructed in 1967. In 1972 an addition was added on the Northeast elevation, designed by Casper Neer. In 2004 an addition on the Northwest elevation was added.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
318	0933 20 0005	2112 MASON HILL DR	C	Good	House Unit #57, the Award Special, was constructed in 1967. In 1969 an addition to the East elevation was added. In 1990 a one story additions on the South elevation was added. In 1994 an addition to the South elevation was added.
319	0933 20 0006	2201 WHITEOAKS DR	C	Good	House Unit Decca or #2B42LB was constructed in 1967. In 2016 a two story addition was added on the North elevation.
320	0933 20 0007	2203 WHITEOAKS DR	C	Good	House Unit #2B42 was constructed in 1966. In 1992 an addition was added on the North elevation.
321	0933 20 0008	2205 WHITEOAKS DR	C	Good	House Unit #2B42LB was constructed in 1966. In 2008 a one story addition was added on the South elevation.
322	0933 20 0009	2202 WHITEOAKS DR	C	Good	House Unit Atrium was constructed in 1968. In 1975 a carport addition was added on the West elevation.
323	0933 20 0010	2102 MASON HILL DR	C	Good	House Unit #2B42 was constructed in 1967. In 1973 a carport was added to the dwelling.
324	0933 20 0011	2100 MASON HILL DR	C	Good	House Unit #2B42 was constructed in 1968.
325	0933 20 0012	2101 MASON HILL DR	C	Good	House Unit Decca was constructed in 1966.
326	0933 20 0013	2103 MASON HILL DR	C	Good	House Unit Decca was constructed in 1966.
327	0933 20 0014	2116 WHITEOAKS DR	C	Good	House Unit Decca or #2B42LB was constructed in 1967. In 2000 a one story addition, designed by Eason Cross was added on the North elevation.
328	0933 20 0015	2114 WHITEOAKS DR	C	Good	House Unit #5CS was constructed in 1968.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
329	0933 20 0016	2112 WHITEOAKS DR	C	Good	House Unit #6 was constructed in 1968.
330	0933 20 0017	2110 WHITEOAKS DR	C	Good	House Unit Custom was constructed in 1967. In 1988 a one story addition was added on the Northeast elevation and another one story addition was added on the Southeast elevation.
331	0933 20 0018	2111 WHITEOAKS DR	C	Good	House Unit Decca or #2B42 was constructed in 1967. In 1995 a carport addition was added on the North elevation.
332	0933 20 0019	2113 WHITEOAKS DR	C	Good	House Unit Decca or #2B42 was constructed in 1967.
333	0933 20 0020	2115 WHITEOAKS DR	C	Good	House Unit Decca was constructed in 1967.
334	0933 20 0021	2107 MASON HILL DR	C	Good	House Unit #57, the Award Special, was constructed in 1967.
335	0933 20 0022	2109 MASON HILL DR	NC	Good	House Unit #57, the Award Special, was constructed in 1968. In 1979 an addition on the North elevation was added, designed by Kerns. In 2015 an addition on the South elevation was added. This structure was determined non-contributing to the National Register Historic District and remains non-contributing the potential Hollin Hills HOD.
336	0933 20 0023	2111 MASON HILL DR	C	Good	House Unit #57, the Award, was constructed in 1967. In 1968 an addition on the Northeast elevation was added. In 1991 an addition on the Southeast elevation was added.
337	0933 20 0024	2113 MASON HILL DR	C	Good	House Unit #2B42LB was constructed in 1968. In 1975 an addition was added to the Northwest elevation, designed by Tom Kerns.
338	0933 20 0025	2115 MASON HILL DR	C	Good	House Unit #57 the Award, was constructed in 1967. In 1969 an addition was added to the Southeast elevation. In 1989 an addition on the Northwest elevation was added.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
339	0933 20 0026	7602 RANGE RD	C	Good	House Unit #57, the Award Special, was constructed in 1967. In 1991 a one story addition was added on the Northeast elevation. There was a cupola on the dwelling.
340	0933 20 0027	7600 RANGE RD	C	Good	House Unit #2 Butterfly was constructed in 1966. There was a carport on the Northwest elevation.
341	0933 20 0028	7508 RANGE RD	C	Good	House Unit #2 Butterfly was constructed in 1966. In 1967 a carport addition was added on the South elevation.
342	0933 20 0029	7506 RANGE RD	C	Good	House Unit #57, the Award Special, was constructed in 1966. There was no cupola on the dwelling.
343	0933 21 0001A	7418 RANGE RD	C	Good	House Unit #2B42LB was constructed in 1968.
344	0933 21 0002A	7416 RANGE RD	C	Good	House Unit #2B42LB was constructed in 1968. In 2007 a two story addition on the South elevation was added and a one story infill addition was added to the North elevation.
345	0933 21 0003A	7414 RANGE RD	C	Good	House Unit #2B42 was constructed in 1968. In 2002 a stoop was enclosed on the South elevation. In 2012 a two story addition was added in the same spot as the 2002 South elevation addition.
346	0933 21 0004	7423 HOPA CT	C	Good	In 1980 the atrium was enclosed. There was a small side addition to the dwelling.
347	0933 21 0005	7424 HOPA CT	C	Good	House Unit #57, the Award Special, was constructed in 1968. There is no cupola on the dwelling.
348	0933 21 0006	7422 HOPA CT	C	Good	House Unit #57, the Award Special, was constructed in 1969.
349	0933 21 0007	7420 HOPA CT	C	Good	House Unit #8 was constructed in 1968.
350	0933 21 0008	7419 HOPA CT	C	Good	House Unit #5CS was constructed in 1969.
351	0933 21 0009	7421 HOPA CT	C	Good	House Unit #2B42LB was constructed in 1968.
352	0933 21 0010	2319 KIMBRO ST	C	Good	House Unit #2B42LB was constructed in 1970.
353	0933 21 0011	2317 KIMBRO ST	C	Good	House Unit #2B42LB was constructed in 1970. In 2010 a two story addition to the South elevation was added.
354	0933 21 0012	2315 KIMBRO ST	C	Good	House Unit Decca was constructed in 1969. In 2004 the front porch was enclosed, by Robert Fina.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
355	0933 21 0013	2311 KIMBRO ST	C	Good	House Unit Decca or #2B42LB was constructed in 1969.
356	0933 21 0014	2307 KIMBRO ST	C	Good	House Unit #57, the Award Special, was constructed in 1969.
357	0933 21 0015	2305 KIMBRO ST	C	Good	House Unit Decca was constructed in 1969. In 1993 an addition on the North elevation was added.
358	0933 21 0016	2303 KIMBRO ST	C	Good	House Unit #2B42LB was constructed in 1969.
359	0933 21 0017	2321 KIMBRO ST	C	Good	House Unit #5CS was constructed in 1970. In 1974 a three story addition on the North elevation was added.
360	0933 21 0018	2320 KIMBRO ST	C	Good	House Unit #10 was constructed in 1970. In 2015 an addition of a two story entry to the Northwest elevation was added.
361	0933 21 0019	2318 KIMBRO ST	C	Good	House Unit #8 was constructed in 1970.
362	0933 21 0020	2316 KIMBRO ST	C	Good	House Unit Decca was constructed in 1970. In 1991 a two story addition extending the full length of the Southwest elevation.
363	0933 21 0021	2314 KIMBRO ST	C	Good	House Unit #5CS was constructed in 1970. In 2002 an addition on the Northeast elevation was added that extends the full length of the dwelling.
364	0933 21 0022	2312 KIMBRO ST	C	Good	House Unit #5CS was constructed in 1970. In 1980 an addition on the Southeast elevation was added.
365	0933 21 0023	2310 KIMBRO ST	C	Good	House Unit Decca was constructed in 1970.
366	0933 21 0024	2308 KIMBRO ST	C	Good	House Unit #57, the Award Special, was constructed in 1970. In 1972 a carport and small room addition on the North elevation. There is no cupola.
367	0933 21 0025	2306 KIMBRO ST	C	Good	House Unit #5CS was constructed in 1970.
368	0934 05 C	no address (off of Rippon Road)	NC	N/A	Vacant land; owned by the BOS

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
369	0934 01 0001A	1600 PAUL SPRING RD	C	N/A	Owned by Fairfax County Park Authority, Paul Springs Stream Valley Park (North) passive recreation, SE of NR boundary (W of Fort Hunt Road)
370	0934 05 A	1601 PAUL SPRING RD	C	Good	Hollin Hills Swim and Tennis Club
371	0934 05 A1	7400 FORT HUNT RD	C	N/A	Owned by Fairfax County Park Authority, Paul Springs Stream Valley Park (North) passive recreation
372	0934 05 B	no address (west of HH Swim/Tennis)	C	N/A	Owned by Fairfax County Park Authority, Paul Springs Stream Valley Park (North) passive recreation
373	0934 05 0008	7318 RIPPON RD	C	Good	House Unit #1B was constructed in 1950. In 1954 an addition was added on the South elevation.
374	0934 05 0009	7316 RIPPON RD	C	Good	House Unit #1B was constructed in 1949. In 1971 an addition was added on the Southwest elevation. In 1999 an addition was added on the Southeast elevation
375	0934 05 0010	7314 RIPPON RD	C	Good	House Unit #1B was constructed in 1949. In 1969 a two story addition was added on the Southeast elevation. In 1977 an addition was added on the Northeast elevation.
376	0934 05 0011	7312 RIPPON RD	C	Good	House Unit #1B was constructed in 1949. In 1967 an addition was added on the West elevation. In 1979 an addition designed by Joanne Goldfarb was added on the North elevation.
377	0934 05 0012	7310 RIPPON RD	C	Good	House Unit #1B was constructed in 1949.
378	0934 05 0013	7308 RIPPON RD	C	Good	House Unit #1BE was constructed in 1950. In 1951 an addition was added Southwest elevation.
379	0934 05 0014	7306 RIPPON RD	C	Good	House Unit #1B was constructed in 1949.
380	0934 05 0015	7304 RIPPON RD	C	Good	House Unit #1B was constructed in 1950.
381	0934 05 0016	7302 RIPPON RD	C	Good	House Unit #1B was constructed in 1950.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
382	0934 05 0017	7300 RIPPON RD	C	Good	House Unit #1 variation was constructed in 1949. In 1974 an addition was added on the East elevation. In 2003 an addition was added on the South elevation.
383	0934 05 0018	1805 DRURY LN	C	Good	House Unit #1B was constructed in 1949. In 1990 a one story addition was added on the Northwest elevation. In 1996 an addition was added on the Southwest elevation.
384	0934 05 0019	1809 DRURY LN	C	Good	House Unit #2 variation was constructed in 1949. In 1954 an addition was added on the South elevation.
385	0934 05 0020	1813 DRURY LN	C	Good	House Unit #2 was constructed in 1949. In 1958 an addition was added on the Northwest elevation. In 1981 an addition was added on the North elevation.
386	0934 05 0027	1812 DRURY LN	C	Good	House Unit #2B42LB was constructed in 1950. In 1992 an addition was added on the Northwest elevation.
387	0934 05 0028	1808 DRURY LN	C	Good	House Unit #2B42LB or #1A was constructed in 1949. In 1954 an addition was added on the Northeast elevation. In 1992 an addition was added on the Southwest elevation.
388	0934 05 0029	1800 DRURY LN	C	Good	House Unit #2 was constructed in 1949. In 1960 an addition was added on the Southeast elevation.
389	0934 05 0030	1801 Paul Spring Road	NC	Good	House Unit #2 - Vacant, owned by Fairfax County. Currently a park managed by CAHH.
390	0934 05 0031	1805 PAUL SPRING RD	C	Good	House Unit #2 was constructed in 1950.
391	0934 05 0032	1809 PAUL SPRING RD	C	Good	House Unit #2 was constructed in 1950. In 1951 an addition was added to the South elevation. In 1980 addition were added to the East and West elevation. In 2009 an addition was added to the South elevation.
392	0934 05 0121	1920 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951.
393	0934 05 0122	1922 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951. In 1965 an addition to the North elevation was added.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
394	0934 05 0123	1924 MARTHAS RD	NC	Good	House Unit #2 was constructed in 1951. In 1996 a one story addition on the South elevation. In 2007 a two story addition on the East elevation was added.
395	0934 05 0124	1926 MARTHAS RD	C	Good	House Unit #2 was constructed in 1950. In 2006 a two story addition was added to the West elevation.
396	0934 05 0125	1936 MARTHAS RD	C	Good	House Unit #2 was constructed in 1950. In 1952 an addition on the North elevation was added. In 1977 an addition to the West elevation.
397	0934 05 0126	1938 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951. In 1983 an addition to the South elevation was added.
398	0934 05 0127	1940 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951.
399	0934 05 0143	1919 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1951.
400	0934 05 0144	1921 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1951.
401	0934 05 0145	1923 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1951. In 1955 there was a carport addition designed by Casper Neer.
402	0934 05 0146	1925 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1951. In 1969 a two story addition on the West elevation was added.
403	0934 05 0147	1927 MARTHAS RD	C	Good	House Unit #2 variation was constructed in 1951. In 1971 an addition on the East elevation was added. In 2001 an addition to the Southwest elevation was added, designed by Eason Cross.
404	0934 05 0148	1929 MARTHAS RD	C	Good	House Unit #2B42LB was constructed in 1951.
405	0934 05 0149	1931 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951. In 1988 an addition to the North elevation was added.
406	0934 05 0150	1933 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951. In 1952 a carport was added to the Northeast elevation. In 1960 an addition on the Northeast elevation was added



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
407	0934 05 0151	1935 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951. In 1957 two additions were added on the West elevation, designed by Casper Neer. In 1971 another addition to the West elevation was designed by Neer and Graef.
408	0934 05 0152	1937 MARTHAS RD	C	Good	House Unit #2 was constructed in 1951. In 1989 there was an addition to the dwelling.
409	0934 05 0153	1939 MARTHAS RD	C	Good	House Unit #2 was constructed in 1950. In 1954 the porch was enclosed on the East elevation. In 1981 there was a second story addition where the enclosed porch was.
410	0934 05 0154	1941 MARTHAS RD	C	Good	House Unit #2 was constructed in 1950. In 1995 a one story addition was added to the North elevation.
411	0934 11 A	Paul Spring Stream Valley Park (adj to 1600 Mason Hill dr. )	NC	N/A	Vacant land; owned by FCPA
412	1021 01 0006A	2400 SHERWOOD HALL LN	C	Good	House Unit Main Line or Custom Line was constructed in 1958. In 2000 there was an addition off the kitchen of the dwelling.
413	1021 02 A	no address (adj. to 7801 Elba Road)	C	N/A	Vacant land; private ownership
414	1021 02 B	no address (adj. to 2407 Daphne Lane)	C	N/A	Vacant land; private ownership
415	1021 02 0001	2401 DAPHNE LN	C	Good	House Unit Custom Line was constructed in 1957. In 2011 an addition was added on the West elevation.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
416	1021 02 0002	2403 DAPHNE LN	NC	Good	House Unit Main Line was constructed in 1957. In 2008 there was a butterfly-roof addition on the West elevation by the owner and architect Heather Watenpaugh. The large addition on the front elevation was added on after the National Register Nomination. It is believed that the dwelling is not proportional to the landscape. The original house was still on the property and visible. There is a large concrete block fireplace chimney visible from the street. The scale does not fit in with the characteristics of Hollin Hills. This is why the status has changes from the National Register status.
417	1021 02 0003	2405 DAPHNE LN	C	Good	House Unit Custom Line was constructed in 1957. In 1977 an addition was added on the West elevation.
418	1021 02 0004	2407 DAPHNE LN	C	Good	House Unit #57, the Award, was constructed in 1958. The dwelling has a cupola.
419	1021 02 0005	7801 ELBA RD	C	Good	House Unit Alcoa '57 was constructed in 1957. The purple panels were designed by Charles Goodman. Eason Cross designed blue anodized grills and perforated brick walls.
420	1021 02 0006A	7805 ELBA RD	C	Good	House Unit #8 was constructed in 1959. The original Unit was designed by Eason Cross. There are two side additions on the dwelling.
421	1021 02 0007	7807 ELBA RD	C	Good	House Unit #260 and Main Line hybrid was constructed in 1959. The dwelling is a one story high rectangular floorplan with a rafter roof and cathedral ceilings. The house had a cupola and a chimney on the side of the house rather than the gable end. There was a side addition in 1966.
422	1021 02 0008	7809 ELBA RD	C	Good	House Unit #260 and Main Line hybrid was constructed in 1957. The dwelling is a one story high rectangular floorplan with a rafter roof and cathedral ceilings. The house had a cupola and a chimney on the side of the house rather than the gable end.
423	1021 02 0010	7712 ELBA RD	C	Good	House Unit Main Line was constructed in 1957. In 1961 an addition to the East elevation. In 1966 an addition to the West elevation was added.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
424	1021 02 0011	7710 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1957. In 1965 there was a front addition that enclosed a carport and a cupola.
425	1021 02 0012	7708 ELBA RD	C	Good	House Unit Custom Line was constructed in 1957. There was an addition to the dwelling in 1965.
426	1021 02 0013	7706 ELBA RD	C	Good	House Unit Main Line was constructed in 1957. In 1968 there was an addition to the dwelling and the carport was enclosed.
427	1021 02 0014	7705 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1957. In 1958 a carport was added on the Northwest elevation. In 1964 a storage unit was added to the carport. In 1973 a one story addition was added to the Southeast elevation.
428	1021 02 0015	7707 ELBA RD	C	Good	House Unit Main Line was constructed in 1957.
429	1021 02 0016	2412 BRENTWOOD PL	C	Good	House Unit #57, the Award, was constructed in 1958. The dwelling has a cupola.
430	1021 02 0017	2410 BRENTWOOD PL	C	Good	House Unit Main Line was constructed in 1957. In 1974 additions was added on the Northwest elevation and on the Southeast elevation.
431	1021 02 0018	2408 BRENTWOOD PL	C	Good	House Unit Custom Line was constructed in 1957. In 1990 an addition was added on the Northwest elevation.
432	1021 02 0019	2406 BRENTWOOD PL	C	Good	House Unit Main line was constructed in 1957. In 1999 an addition was added on the West elevation. In 2017 an addition was added on the North elevation.
433	1021 02 0020A	2407 BRENTWOOD PL	C	Good	House Unit #57, the Award, was constructed in 1957. There is also a cupola on the dwelling.
434	1021 02 0021A	2409 BRENTWOOD PL	NC	Good	House Unit #57, the Award, was constructed in 1957. In 1962 an addition was added on the Southwest elevation. In 1977 an addition was added on the Southeast elevation.
435	1021 02 0022	2411 BRENTWOOD PL	C	Good	House Unit Custom Line was constructed in 1957. In 2014 a one-story addition was added on the Northeast elevation.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
436	1021 02 0023	2413 BRENTWOOD PL	C	Good	House Unit Custom Line was constructed in 1957. In 1958 an addition was added on the Southwest elevation. In 1969 an addition was added on the Southwest elevation.
437	1021 02 0024	7711 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1957. In 1968 an addition to the Northeast elevation was added. The dwelling had a cupola.
438	1021 02 0025	7713 ELBA RD	C	Good	House Unit Main Line was constructed in 1957. There was an addition on the right side of the dwelling.
439	1021 02 0026	7715 ELBA RD	C	Good	House Unit Main Line was constructed in 1957.
440	1021 02 0027	7717 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1957. In 1967 an addition to the North elevation was added.
441	1021 02 0028	2406 DAPHNE LN	C	Good	House Unit Custom Line was constructed in 1957. In 1961 a two-story addition was added on the West elevation.
442	1021 02 0029	2404 DAPHNE LN	C	Good	House Unit Custom Line was constructed in 1957. In 1981 an addition was added on the North elevation. In 1988 an addition was added on the North elevation.
443	1021 02 0030	2402 DAPHNE LN	C	Good	House Unit Custom Line was constructed in 1957.
444	1021 02 0031	2400 DAPHNE LN	C	Good	House Unit Custom Line was constructed in 1957.
445	1021 07040053	2508 BOSWELL AVE	C	N/A	Vacant open space; Owned by the Civic Association of Hollin Hills
446	1021 07040054	2504 BOSWELL AVE	C	N/A	Vacant open space; Owned by the Civic Association of Hollin Hills
447	1021 07040055	2500 BOSWELL AVE	C	N/A	Vacant open space; Owned by the Civic Association of Hollin Hills
448	1021 07090500	7709 DELAFIELD PL	C	N/A	Vacant open space; Owned by the Civic Association of Hollin Hills
449	1021 07090501	7701 DELAFIELD PL	C	N/A	Vacant open space; Owned by the Civic Association of Hollin Hills



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
450	1021 15010001	2405 BRENTWOOD PL	C	Good	House Unit #57 rectangle, the Award Special, was constructed in 1958. The dwelling has a cupola.
451	1021 15010002	2403 BRENTWOOD PL	C	Good	House Unit #8 variation was constructed in 1958.
452	1021 15010003	2401 BRENTWOOD PL	C	Good	House Unit #8B4 was constructed in 1958.
453	1021 15010004	2400 BRENTWOOD PL	C	Good	House Unit Custom Line was constructed in 1958.
454	1021 15010005	2402 BRENTWOOD PL	C	Good	House Unit custom line was constructed in 1958. In 1992 an addition was added on the North elevation.
455	1021 15010006	2404 BRENTWOOD PL	C	Good	House Unit Mainline was constructed in 1958. In 1965 an addition was added on the North elevation. In 1971 an addition was added on the West elevation.
456	1021 1902 A	no address (adj to 7705 Elba Road)	C	N/A	Vacant; private ownership
457	1021 19020007	7703 ELBA RD	C	Good	House Unit Main Line was constructed in 1959. In 1998 an addition was added on the Southeast elevation.
458	1021 19020008	2409 NORDOK PL	C	Good	House Unit Main Line was constructed in 1959. In 2014 an addition was added to the South elevation. In 2015 an addition was added on the North elevation.
459	1021 19020009	2407 NORDOK PL	C	Good	House Unit #57, the Award or Award Special, was constructed in 1959. There was a cupola on the dwelling.
460	1021 19020010	2405 NORDOK PL	C	Good	House Unit Main Line was constructed in 1961. In 1969 an addition was added to the South elevation, designed by Michael G. Marshall.

## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
461	1021 19020011	2403 NORDOK PL	C	Good	House Unit #57, the Award, was constructed in 1961. In 2004 a one story addition was added to the West and South elevations. There was a cupola on the dwelling.
462	1021 19020012	2401 NORDOK PL	C	Good	House Unit Main Line was constructed in 1961. In 2009 a carport was added to the East elevation, designed by Robert Fina. In 2010 a one-story addition on the South elevation was added, designed by Robert Fina.
463	1021 19020013	2321 NORDOK PL	C	Good	House Unit #57, the Award, was constructed in 1961. There was a cupola on the dwelling.
464	1021 19020014	2319 NORDOK PL	C	Good	House Unit #57, the Award Special, was constructed in 1961. There was a cupola on the dwelling.
465	1021 19020015	2320 NORDOK PL	C	Good	House Unit Main Line was constructed in 1961.
466	1021 19020016	2400 NORDOK PL	C	Good	House Unit #57, the Award, was constructed in 1959. In 1969 an addition was added to the East elevation. In 1993 a one story addition on the East elevation was added. There was no cupola on this dwelling.
467	1021 19020017	2402 NORDOK PL	C	Good	House Unit #57, the Award Special, was constructed in 1961. There was a cupola on the dwelling.
468	1021 19020018	2406 NORDOK PL	C	Good	House Unit Main Line was constructed in 1959.
469	1021 19020019	2408 NORDOK PL	C	Good	House Unit #57, the Award, was constructed 1959. In 1964 an addition on the West elevation was added. In 1974 an addition to the North elevation was added. There was a cupola on the dwelling.
470	1021 19020020	7616 ELBA RD	C	Good	House Unit Decca was constructed in 1963.
471	1021 19020020A	adj to 7616 Elba	C	N/A	Vacant; private ownership
472	1021 19020021	7618 ELBA RD	C	Good	House Unit Custom Line was constructed in 1959. In 2015 an addition to the East elevation was added.
473	1021 19020021A	adj to 7618 Elba Road	C	N/A	Vacant; private ownership
474	1021 19020022	7700 ELBA RD	C	Good	House Unit #5B was constructed in 1959.



## List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
475	1021 19020023	7702 ELBA RD	C	Good	House Unit #57, the Award Special, was constructed in 1959. In 2007 there was an addition to the West elevation with a shed roof by Andrew Cheng. The dwelling had a cupola.
476	1021 19020024	7704 ELBA RD	C	Good	House Unit Custom Line was constructed in 1959. In 1970 the carport was enclosed. In 2000 an addition to the West elevation was added.
477	1021 20 A	no address (adj. to 2400 Sherwood Hall Lane)	C	N/A	Vacant; private ownership
478	1021 20 B	7805 DAVENPORT ST	C	N/A	Vacant; private ownership
479	1021 20 0001	7714 ELBA RD	C	Good	House Unit #57, the Award, was constructed in 1960. The dwelling had a cupola and a rear addition.
480	1021 20 0002	7716 ELBA RD	C	Good	House Unit Main Line was constructed in 1961.
481	1021 20 0003	7718 ELBA RD	C	Good	House Unit Main Line was constructed in 1961.
482	1021 20 0004	7720 ELBA RD	C	Good	House Unit Decca was constructed in 1961. There was a lower level of the dwelling with a large chimney.
483	1021 20 0005	7722 ELBA RD	C	Good	House Unit Main Line was constructed in 1961.
484	1021 20 0006	7800 ELBA RD	C	Good	House Unit Custom Line was constructed in 1961. In 2000 the screened in porch was enclosed on the North elevation.
485	1021 20 0007	7802 ELBA RD	C	Good	House Unit Main Line was constructed in 1961. The dwelling has a lower level and a rear addition with a brick façade.
486	1021 20 0008	7804 ELBA RD	C	Good	House Unit #260 was constructed in 1961. In 1968 an addition to the South elevation was added.
487	1021 20 0009	7800 DAVENPORT ST	NC	Good	House Unit #260 was constructed in 1960.
488	1021 20 0010	7801 DAVENPORT ST	C	Good	House Unit #57, the Award, was constructed in 1962. In 1966 an addition was added on the Northeast elevation. In 1995 an addition was added on the Northeast elevation. In 2001 an addition was added on the South elevation.
489	1021 20 0011	7803 DAVENPORT ST	C	Good	House Unit Decca or #2B42LB was constructed in 1961. In 1996 a one story addition was added on the Southwest elevation.

### List of Properties Proposed for Inclusion within Hollin Hills HOD

Parcel Count	Tax Map Number	Address	C/NC status	Condition of Structures	Description
490	1021 20 0012	7802 DAVENPORT ST	C	Good	House Unit #2B42LB was constructed in 1963. In 1991 a one story addition was added on the Northwest elevation.
491	1021 20 0013	2310 SHERWOOD HALL LN	C	Good	House Unit #2B42LB was constructed in 1963. In 1986 there was an addition to the dwelling.
492	1021 20 C	N/A (adj to 7800 Davenport)	NC	N/A	Vacant; owned by FCPA



Attachment 11– Comments from Fairfax County Park Authority dated April 30, 2020



# FAIRFAX COUNTY PARK AUTHORITY

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## M E M O R A N D U M

**TO:** Leanna O'Donnell, Director  
Planning Division  
Department of Planning and Development

**FROM:** Andrea L. Dorlester, Development Review Section Chief  
Park Planning Branch *ALD*

**DATE:** April 30, 2020

**SUBJECT:** PA# 2018-IV-MV4, Hollin Hills Potential Historic Overlay District (HOD)

The Fairfax County Park Authority staff has reviewed the above referenced proposed Plan Amendment which was authorized by the Board of Supervisors (BOS) on July 31, 2018. Throughout this project, the Department of Planning and Development (DPD) consulted staff from the Archaeology and Collections Branch (ACB) of the Fairfax County Park Authority.

The Park Authority supports Historic Overlay Districts as they further Objective 100 of the Park Authority's Policy Manual:

"To protect and preserve the physical, cultural and natural heritage of Fairfax County for the enjoyment and education of the citizenry."

### NOMINATION DESCRIPTION

This nomination proposes to create a new HOD to protect the 326-acre Hollin Hills Community, which was the first planned development of Modern architecture in the Washington metropolitan area. The Hollin Hills neighborhood is listed on the Fairfax County Inventory of Historic Sites, the Virginia Landmarks Register, and the National Register of Historic Places. The National Register nomination notes that Hollin Hills was "a true experimental laboratory for an architect who sought to create a diversity of architectural expression that honors both the land and its residents."

PA 2018-IV-MV4 proposes to add the following text to the MV5-Groveton Community Planning Sector, of the Mount Vernon Planning District of the AREA IV plan:

"The entirety of the Hollin Hills Historic Overlay District lies within this sector. The provisions of the Hollin Hills Historic Overlay District are found in Appendix 1, of the Zoning Ordinance. The district was created to protect the mid-century modern architecture and the character of the development, which are the defining characteristics. It was also created to encourage the



continuance of the community with preservation of open spaces, and compatible design of additions of buildings.”

As proposed, this HOD would include all the parcels included on the National Register of Historic Places. DPD staff also analyzed the surrounding properties and determined that while not historically significant, adjacent Park Authority property would benefit the HOD by providing valuable viewshed protection for the residential properties on the periphery of the potential district. Therefore, DPD proposes to include Hollin Meadows and White Oaks Parks, plus two parcels of Paul Springs Stream Valley Park in the Hollin Hills Historic Overlay District (see Attachment 1).

### **CURRENT COMPREHENSIVE PLAN TEXT**

The Policy Plan addresses resource protection in multiple objectives, focusing on protection, preservation, and sustainability of resources (Parks and Recreation Objectives 2 and 5, p.5-7). Use of the subject properties is guided by the following text in the Area IV Plan, Mount Vernon Planning District which specifies “Identify, preserve and promote awareness of heritage resources through research, survey and community involvement” as a planning goal (p. 4). Page 17 of the Mount Vernon Planning District recommendations state “In those areas where significant heritage resources have been recorded, an effort should be made to preserve them for the benefit of present and future generations.” Additionally, recommendations for the sub-unit containing this application site specifically state the following for White Oaks Park: “In accordance with the approved master plan, the notable environmental resources located on this park site should be preserved...” (MV5-Groveton Community Planning Sector, Parks and Recreation, p. 91).

Finally, text from the Mount Vernon District chapter of the Great Parks, Great Communities Park Comprehensive Plan echoes recommendations in the Countywide Comprehensive Plan. Specific District chapter recommendations include preserving and protecting the remaining cultural and natural areas in the district.

### **ANALYSIS & RECOMMENDATIONS**

Park Authority staff reviewed the proposed Plan Amendment along with the existing conditions and master plans of the parks proposed to be included in the HOD and provides the following comments:

- Classified as a Local Park, Hollin Meadows is a small park comprised of sloping woodland, tightly surrounded by small residential lots and Hollin Meadows Elementary School. It is only accessible by a trail emanating from the school crosswalk on Elba Road and is bisected by a gas line easement. Hollin Meadows Park is currently built out in a manner consistent with the approved Master Plan for the park. The Master Plan which was created through the public master planning process is available online: <https://www.fairfaxcounty.gov/sites/parks/files/Assets/images/plandev/master-plans/hollinmeadows.gif>. It shows the park containing a natural study area to support programs at the adjacent Hollin Hills Elementary School, and the bisecting gas line easement.

- The eastern parcel of Paul Springs Stream Valley Park which is nominated for inclusion in the Hollin Hills Historic Overlay District is bounded by roadways on three sides, and Community Association Land on the remaining side. It is almost completely contained within the Paul Springs Resource Protection Area (RPA), Flood Plain, and Flood Plain Easement which contributes to its designation as a Resource Based Park. The western parcel of Paul Springs Stream Valley Park that is nominated for inclusion in the HOD is also mostly within the RPA and tightly surrounded by small residential lots. This small, sloping site is only accessible by a trail from Elba Road. In accordance with these conditions, these heavily wooded parcels are managed in line with the Park Authority's Natural Resource Management Plan, which is available online: <https://www.fairfaxcounty.gov/parks/sites/parks/files/assets/documents/naturalcultural/nrmp-01-29-14.pdf>.
- Designated as a Local Park, White Oaks Park provides trails through a protected natural setting as per its master plan. It is bounded on three sides by small lot residences and on the remaining side by Little Hunting Park Swim and Tennis Club, across a steep drainage way. Most of the park is comprised of the steep slopes of two drainage ways leading to the RPA and flood plain containing Paul Springs Branch along the eastern side of the park. Park access is only by trail from Devonshire Road in the southeastern corner and the stream valley trail in the northeastern corner. White Oaks Park is currently built out in a manner consistent with the approved Master Plan for the park, which was created through the public master planning process and is available online: <https://www.fairfaxcounty.gov/parks/files/Assets/images/plandev/master-plans/whiteoaks.gif>. It shows the park as a preserved natural area with trails and streams.
- Since these parks are developed according to their respective master plans and Park Authority policy, the HOD as proposed would have no impact on maintaining them in their current state. Proposing new or different park elements for any of these parks would require them to go through the public Master Plan Revision process. The Master Plan Revision process includes analysis of site conditions, resources, and constraints, public input, and an assessment of community needs and desires. Implementation and maintenance costs are also considered. Based on these factors, new or different elements could be approved for park development. As with all master plan revisions performed for other parks in HODs, the Park Authority would consult with the ARB as part of the master plan process. These consultations would ensure that any proposed features would be architecturally compatible with, or out of view from the surrounding community as per Sections 7-203 and 7-204 of the Fairfax County Zoning Ordinance. These consultations provide additional opportunities for collaboration, outreach, and review leading to the best possible park features for the community.

For the above mentioned reasons, the Fairfax County Park Authority staff has determined that the proposed Comprehensive Plan Amendment, with the inclusion of Hollin Meadows, two parcels of Paul Springs Stream Valley, and White Oaks Parks in a new Historic Overlay District, would bear no adverse impact to the land, resources, facilities, or service levels of the Park Authority.



The Mount Vernon Planning District which surrounds the Hollin Hills Community is critically underserved by parkland and facilities, however. Any additional site-specific language added to the proposed HOD should not preclude the Park Authority from performing its mission to protect significant natural and cultural resources and provide public recreation facilities, as appropriate within these parks. Therefore, the Park Authority requests the opportunity to review all future plans and documents related to the proposed Hollin Hills Historic Overlay District.

Thank you for the opportunity to comment on the proposed Hollin Hills Historic Overlay District Plan Amendment. We look forward to participating in this project as it moves forward. Please direct any questions about these comments and all future review documents related to this project to Andy Galusha, at 703-324-8755 or [agalus@fairfaxcounty.gov](mailto:agalus@fairfaxcounty.gov).

Attachment 1: Properties Under Consideration for Inclusion in Potential Hollin Hills Historic Overlay District Map

eCopy: Aimee Vosper, Deputy Director/CBD

David Bowden, Director, Park Planning & Development Division

Liz Crowell, Manager, Archaeology & Collections Branch

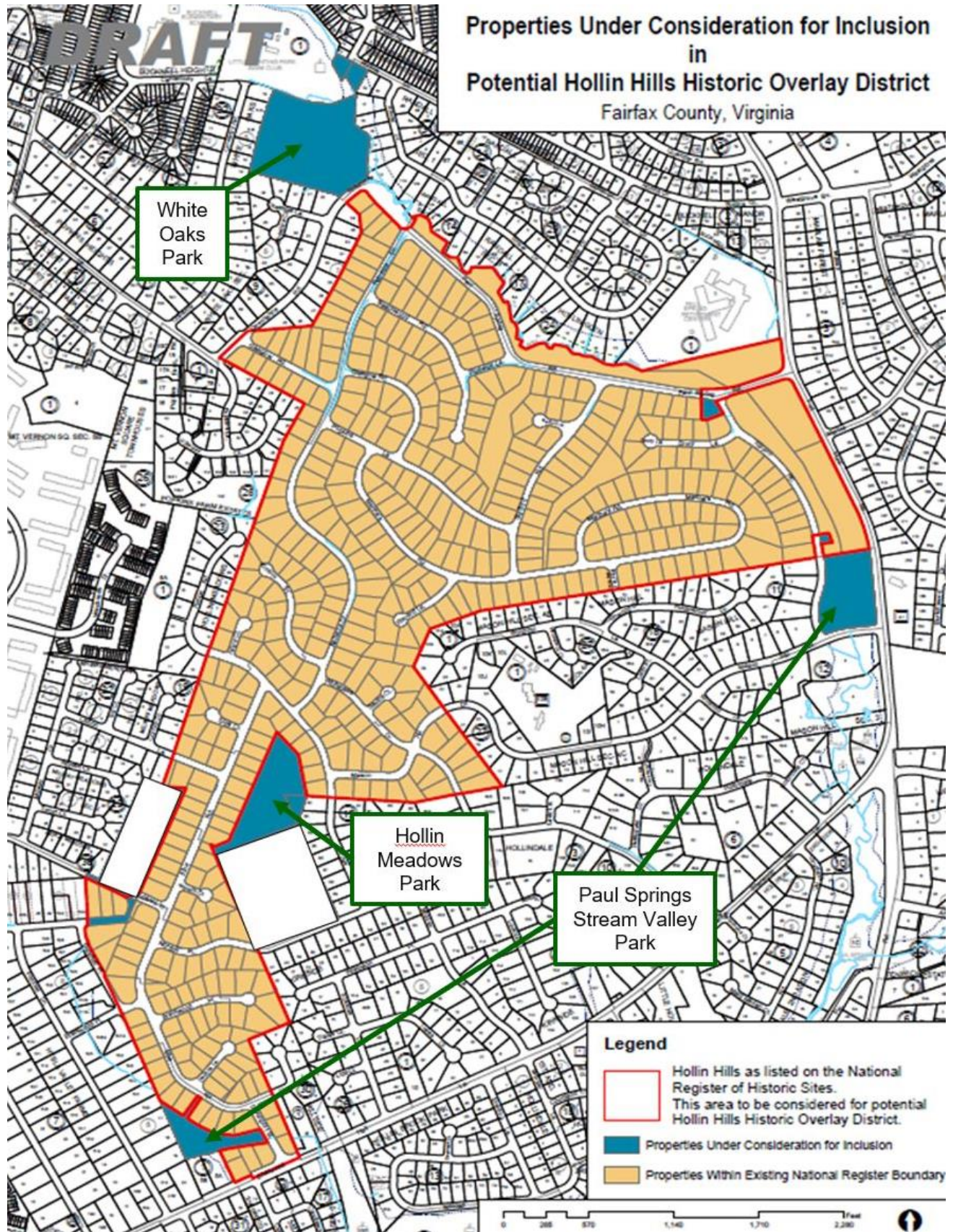
John Burke, Manager, Natural Resources Branch

Anna Bentley, Manager, Park Planning Branch

Andy Galusha, Park Planner, Park Planning Branch

Laura Arseneau, Senior Planner, Planning Division, DPD

File Copy







# Hollin Hills

## Historic Overlay District Design Guidelines

Fairfax County, Virginia

*Draft Submission  
January 2022*



PLANNING & DEVELOPMENT  
FAIRFAX COUNTY





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# 01

## **Introduction to the District-Specific Design Guidelines**



## INTRODUCTION TO THE DISTRICT-SPECIFIC DESIGN GUIDELINES

Hollin Hills is one of the first planned developments of modern architecture in the Washington metropolitan area. Occupying 326 acres south of the City of Alexandria in Fairfax County, the neighborhood reflects the creativity of developer Robert C. Davenport's financing and the inventiveness of renowned modernist architect Charles Goodman, whose modern house designs feature open plans, a non-traditional modern appearance, and prefabricated components.

Hollin Hills was listed as a historic district in the Fairfax County Inventory of Historic Sites in 1972. In 2013, Hollin Hills was listed on the Virginia Landmarks Register (VLR) and the National Register of Historic Places (NRHP). The VLR and NRHP nominations were sponsored by the Civic Association of Hollin Hills and emphasized the neighborhood's significance in the categorical fields of Architecture and Community Planning and Development. In 2018, in response to community interest, the Fairfax County Board of Supervisors authorized consideration of a Hollin Hills Historic Overlay District (HOD) to recognize the neighborhood's important architectural and landscape significance, and to preserve the historic character of the neighborhood.

As described in Article 3, Section 3101.1 of the Fairfax County Zoning Ordinance, an HOD is a comprehensive planning and zoning tool that helps promote the identification, preservation, and enhancement of buildings, structures, neighborhoods, landscapes, places, and areas that



A Hollin Hills residence, photographed by Robert C. Lautman.  
*House and Home* (January 1954), p.141.

have historical, cultural, architectural, or archaeological significance. The creation of HODs was authorized by the Fairfax County Board of Supervisors in order to protect and enhance the County's historic and architectural landmarks – sites deemed both valuable and vulnerable.

The Hollin Hills Design Guidelines offer practical and flexible guidance for property owners and design professionals (architects and contractors) undertaking work within the HOD. The guidelines provide helpful information and can be used as a tool early in the planning phase of a proposed project. The intent of the HOD Design Guidelines is to guide sensitive new development and compatible additions, and limit demolition and inappropriate exterior alterations. Information on the history and significance of the neighborhood provides context, and the identification of character-defining features highlights the unique architectural and landscape qualities that make Hollin Hills significant. With this information, project applicants can use the guidelines to pursue design solutions that retain the historic character of the Hollin Hills HOD as a whole. The Design Guidelines will also be utilized by Fairfax County staff and the Architectural Review Board (ARB) as an aid during the project review and permitting process.

It should be noted that the Fairfax County HOD Design Guidelines are distinct from the Civic Association of Hollin Hills Design Review Committee (DRC) guidelines. The DRC reviews all new construction and all alterations that affect the visual appearance of any building or structure, as well as fences, decks, detached accessory structures (sheds, carports, pool/tennis enclosures, greenhouses, etc.), gazebos, trellises, awnings, retaining walls, and freestanding walls.

Applicants should also reference the ***Historic Overlay District General Design Guidelines*** which outlines the ARB review process, standards of review, as well as design principles and general guidance applied to all HODs.\*

\*The General Design Guidelines are in progress. A link to the General Design Guidelines will be provided in a subsequent iteration of this document.



## HISTORIC OVERLAY DISTRICT REGULATIONS AND PROJECT REVIEW SUMMARY

Proposed projects within the Historic Overlay District will be reviewed by the Fairfax County ARB. As described in the Zoning Ordinance Section 3101.6: "Administration of Historic Overlay Districts," the term "project" applies primarily to exterior renovations, construction, demolition, or any uses that require a building permit, site plan, or rezoning application in accordance with the Zoning Ordinance. Fairfax County staff and the ARB will use the HOD Design Guidelines in their review and approval of County permit, site plan, and rezoning determinations and recommendations. Consistent with current practice, ARB review is only required for work that requires a permit.

Additional information on what work requires a building permit, reference the Fairfax County Land Development Services website [here](#).

### *Projects That Require Review and Building Permit Approval by the ARB:*

- Demolition of buildings and structures
- New buildings, additions, and structures
- Decks and screened-in porches (including alterations to existing)
- Sheds and playhouses over 256 square feet
- Swimming pools
- Retaining walls over three feet
- Exterior stairs or stoops

### *Projects That Require Review and Recommendation by the ARB:*

- Rezoning
- Special exceptions
- Special permits, including encroachment into minimum yard requirements/setbacks
- Ground disturbance over 2500 square feet, such as septic fields
- Variances and site plans, including subdivision plats and grading plans

### *Projects That Do Not Require Review and Permit Approval by the ARB:*

- |  |                        |
|--|------------------------|
| • Fences                                   | • Playground equipment |
| • Residential window and door replacements | • On-grade patios      |
| • Gutters                                  | • Driveways            |
|  | • Interior alterations |

## USING THE DESIGN GUIDELINES

The Hollin Hills HOD Design Guidelines were developed to provide historical background and detailed guidance to project applicants, property owners, the building industry, and the community, and to facilitate ARB consideration of project applications. The Design Guidelines are not a part of, nor are they an amendment to, the County's Zoning Ordinance, which continues to regulate land use types and the intensity of development within Historic Overlay Districts and throughout the County. The Zoning Ordinance guides measurable items, such as heights, setbacks, siting, and sizes of structures.

This document includes information about the neighborhood's early history and founding principles in **Chapter 2. History and Significance**. The boundaries of the HOD are outlined in **Chapter 3. Historic Overlay District Overview**. Chapter 3 also includes a description of the physical character and character-defining features of the HOD. **Chapter 4. District-Specific Design Guidelines** includes guidelines based on the *Secretary of the Interior's Standards for Rehabilitation* that are in keeping with the provisions of Article 3, Section 3101 of the Fairfax County Zoning Ordinance. They are categorized into guidelines for Preservation and Rehabilitation of Existing Buildings; New Construction and Additions; and Preserving Setting (Landscape, Streetscape, and Archaeology).

The guidelines emphasize flexibility and encourage site-specific solutions rather than a one-size-fits-all approach. They are guidelines, not requirements. Hollin Hills has evolved since the original development phases of the neighborhood, and will continue to do so. The guidelines are not meant to discourage change or growth; rather, they were designed with the specific intent to:

- Preserve, complement, and reinforce the modernist historic character of the district;
- Reinforce the existing scale;
- Guide sensitive new development and compatible additions; and
- Encourage the consistent use of materials compatible with the character of the historic district.

The **Appendix** includes a glossary of terms and acronyms, a list of additional resources, a maintenance checklist, and an inventory of contributing and non-contributing properties located within the HOD.





# 02

## History and Significance

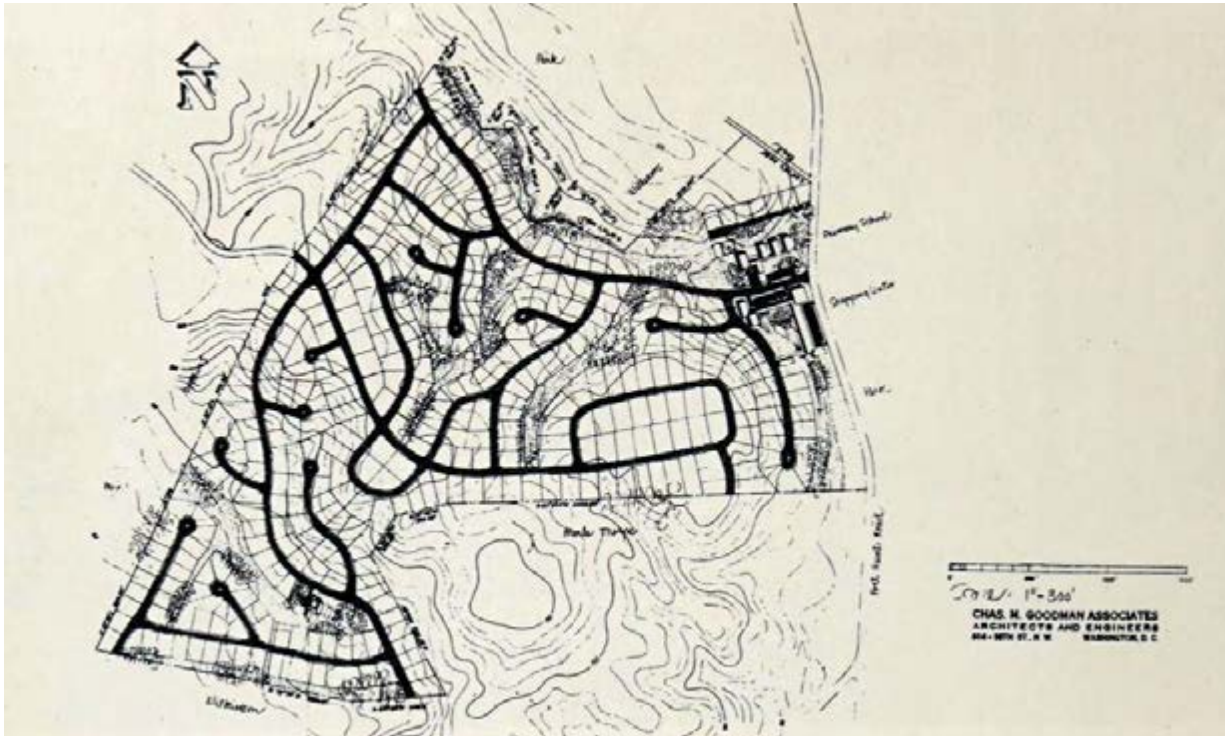


## STATEMENT OF SIGNIFICANCE

Hollin Hills is a residential development spanning 326 wooded acres in Fairfax County, Virginia. Architect Charles M. Goodman and developer Robert C. Davenport purchased and began preparing for development in 1946, following the initial purchase of 225 acres of land. The first house was completed in 1949. A second concerted development phase was carried out in 1956, following the addition of 101 acres located to the southwest of the original tract. Piecemeal development continued through 1971. Landscape designers Lou Bernard Voigt, Daniel Urban Kiley, and Eric Paepcke skillfully emphasized the natural features of the land, while complementing the modern design of the residential dwellings. The neighborhood, now comprised of 463 single-family dwellings, is a nationally significant example of community planning, merchant-builder development, and post-World War II Midcentury Modern architecture. The pioneering architecture and land planning of Hollin Hills reflect design principles characterized by clean lines, cubic shapes, and rejection of historicist styles. Renowned for its modernist aesthetic, the neighborhood was listed on the Fairfax County Inventory of Historic Sites in 1972, and listed on the Virginia Landmarks Register and National Register of Historic Places in 2013 as the Hollin Hills Historic District. The neighborhood has retained excellent architectural integrity, in large part due to design review first instituted by Davenport, and now administered by the Civic Association of Hollin Hills Design Review Committee (CAHH DRC). Design review is intended to ensure alterations maintain harmony with original designs.

## DEVELOPMENT HISTORY

Architect Charles M. Goodman and developer/builder Robert C. Davenport formed a collaborative partnership in 1946 that resulted in the first planned subdivision to combine novel land planning, modern house and landscape designs, and a merchandising plan that required the lots and house designs to be sold separately. Goodman prioritized house and site plans, while Davenport primarily managed logistics, financing, marketing, and production. The development was spurred by federal incentives for private construction following World War II. However, the Federal Housing Administration (FHA) initially rejected the first built section of Hollin Hills due to its ultra-modern design that did not adhere to the FHA's set guidelines for development, but favored the Colonial Revival style. Davenport, unwilling to compromise and build in the traditional style, instead sought and relied on Veterans Administration mortgage insurance to finance the development. In 1949, brothers Morris and Samuel Rodman became investors. Despite the initial rebuke from the FHA, buyers looking for an alternative to the ubiquitous brick Colonial Revival style flocked to Hollin Hills. The distinctive neighborhood was embraced by both the professional and popular presses and received numerous accolades and awards for design excellence. The FHA gradually reduced their restrictions on modernist designs and became more comfortable with architectural non-conformity. Under the continued leadership of Goodman and Davenport, additional development of the neighborhood was undertaken in 1956. Goodman left Hollin Hills in 1961 to pursue other architectural interests and Davenport continued developing the neighborhood until 1971, when the Hollin Hills, Inc. real estate office closed. In the latter years of the neighborhood's development (after Goodman's departure) some undeveloped lots were sold and custom housing was designed by local architects, including Tom Kerns, Casper Neer, and Robert Calhoun Smith.



Development plan by Charles Goodman (c. 1950). *Before You Buy a House* (1953), p.76.



Aerial view of upper Hollin Hills (c. 1950), looking north. Photograph shows Recard Lane and Martha's Road in the foreground. *Hollin Hills, Community of Vision* (2000), p.30.



## *Timeline of Hollin Hills Development*

### *Subdivision and Site Development Patterns*

Hollin Hills was built during a pivotal period of postwar suburbanization, when high demand for new housing, new building technology, and a recovering economy spurred by federal building initiatives resulted in an unprecedented amount of new construction. While Goodman and Davenport benefited from many of these timely conditions, they largely rejected nationwide housing trends and pursued their suburban project in an entirely individualized manner.

Winding roads throughout Hollin Hills mirror the contours of the land and contribute to the neighborhood's unique character. Glasgow Road, Paul Spring Road, and Rebecca Drive clearly follow the land contours, and roads such as Beechwood and Stafford were created along ridges. Much of the neighborhood lacks standard street gutters, cement curbs, and sidewalks – an intentional decision by Goodman and Davenport aimed to limit destruction of the natural landscape. The pair even resisted providing paved roads due to their hard, city-like character, but ultimately deferred to County direction.

The neighborhood also features cul-de-sacs, communal parks, and woodlands that provide pedestrian circulation routes and shared public space. At the time of Hollin Hills' development, cul-de-sacs were a particularly innovative, rare feature. They were included in the subdivision plan to provide more area devoted to green space, increase safety, reduce noise for residents, and foster a sense of community.

Goodman and Davenport always recognized the natural landscape as one of the neighborhood's most valued assets. During the early development of Hollin Hills, Davenport created a community association that took title of the land and assigned approximately thirty acres out of an original total of 326 acres as open space and parks for community use, woven throughout the neighborhood. While developers typically attempt to maximize the use of land for the most profit, Goodman and Davenport instead invested in long-term sustainability and communal benefit. Community interest in preserving these communal areas has continued throughout the decades and remains a priority today.

The subdivision is platted with irregularly shaped lots that respond to the varied natural topography (similarly to how the roads are laid out). Residential dwellings are thoughtfully sited and designed to complement the landscape. In order to preserve unity between the built environment and the landscape, homes are set back, angled to the street, and sited in response to solar orientation, location of existing trees, views, and vistas, and taking into consideration neighboring buildings. Although many homes are set back from the street, it is quite common for lots to measure greater in rear yard-footage than front, reflecting an emphasis on privacy. Some buildings are set on hilly sites, so that a multi-story structure reads as a minimal one-story building from the street. Buildings sited on flat lots are more commonly one story.







Unit Type #2 (Butterfly), photographed c.1952. *Hollin Hills, A Community of Vision* (2000), p.59.



Unit Type #2, photographed in 1952.  
*Hollin Hills, A Community of Vision* (2000), p.108.



Example of a Goodman-designed interior, photographed c.1950. *The American House Today* (1951), p.4.

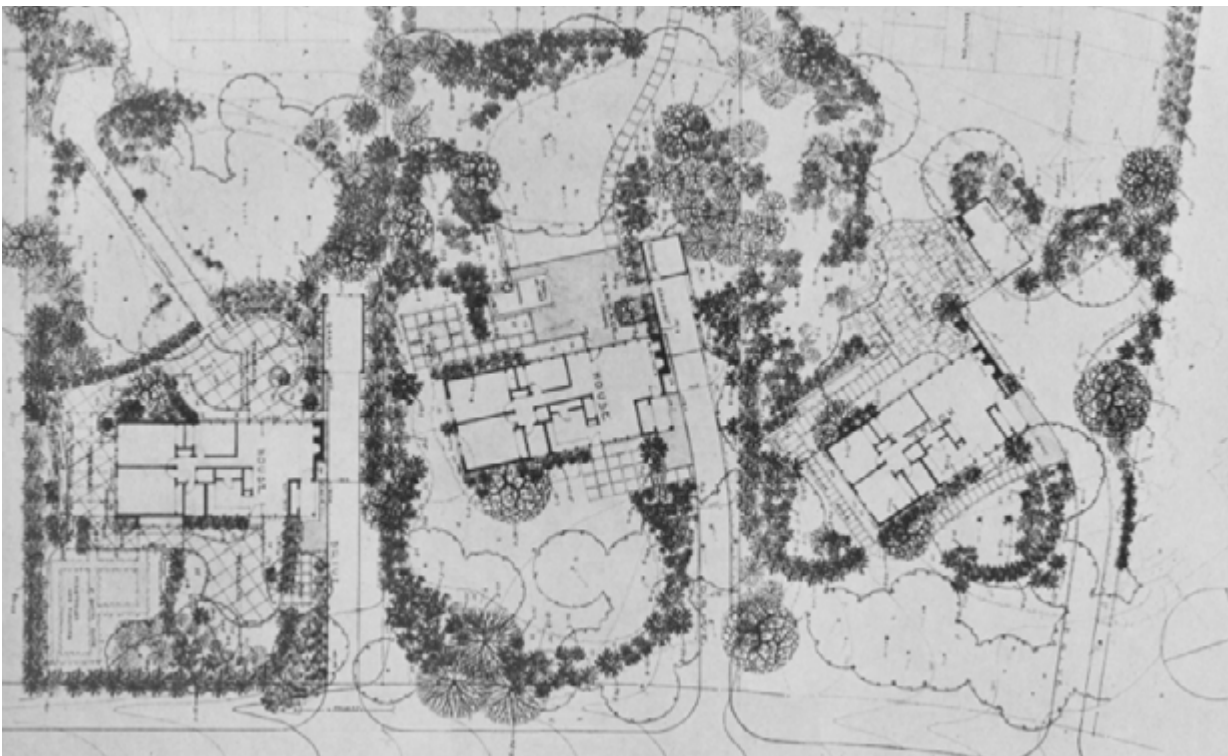
## House Plans

Architect Charles M. Goodman used Hollin Hills as his architectural laboratory, creating eight individual unit-type designs with variations that resulted in fifteen different combinations. Goodman additionally designed two models for national housing companies that were showcased in Hollin Hills. Developer Robert C. Davenport, in keeping with the standard set by Goodman, designed three unit-type plans after Goodman's departure from the project in 1961. The unit-type designs all began with a standardized module, though some original buyers were provided options for room sizes and wall and floor finishes. Blueprints could be flipped end to end or side to side, and often elements of various unit types were incorporated into one another. Additionally, individual house plans responded to the requirements and character of the landscape and to site irregularities, so houses are rarely exactly the same.

Despite unit-type differences, common architectural themes and planning principles throughout the neighborhood create a shared character. All buildings feature flat or low-sloped, shallow roofs that emphasize horizontality, creating the appearance of buildings that lie within, rather than on top of, the landscape. Large expanses of floor-to-ceiling glass effectively bring the outdoors in and allow for enjoyment of views and vistas. Homes in Hollin Hills are devoid of traditional, classical ornamentation and instead embrace an uncluttered minimalist aesthetic. As a product of the Modern Movement, buildings in Hollin Hills were economically constructed with standardized interior plans and wood-frame structural systems of a modular, and later prefabricated, type. Although standardization and use of prefabricated components are defining elements of residential construction in Hollin Hills, the neighborhood is altogether distinct from other contemporary mass-produced developments.



Home sited within a small clearing. *The American House Today* (1951), p.2.



Goodman plan for Stafford Road. *The American House Today* (1951), p.1.



## Landscape Plans

Goodman and Davenport directed the general site plan of the community and designed the house unit types. They prioritized the preservation of native trees (second growth, deciduous trees), plantings, natural grading around buildings, open spaces, and circulation routes. The design of individual landscape plans for residential lots, however, was left to preeminent modernist landscape architects Lou Bernard Voigt, Daniel Urban Kiley, and Eric Paepcke. Landscape plans for individual lots were initially an optional add-on for buyers, but Davenport eventually required they be included as part of the sale price for the house to ensure a cohesive neighborhood aesthetic. Installation and plant materials, however, were not included with the landscape plans.

In 1948 Lou Bernard (“Barney”) Voigt created a partnership with the office of Charles Goodman and Associates and began working on landscape plans for Hollin Hills and other Goodman projects. Individual landscape plans were included with Hollin Hills house plans for a mandatory fee of \$100 and included one personal consultation with Voigt. Voigt helped Goodman and Davenport design the community and individual lot landscape designs until he died in 1953. Daniel Kiley then took over and designed approximately one hundred individual landscape designs, nearly all of them contiguous, between 1953 and 1955. In 1955, Eric Paepcke took over as primary landscape architect to help finish out the community. These three landscape architects all embraced a shared modernist aesthetic and worked to create site-specific, regionally appropriate designs.

Residential landscapes in Hollin Hills generally feature large scale, natural, informal plantings rather than manicured grass lawns. Designs are often asymmetrical, much like the houses themselves. Property lines are not reinforced with dense plantings; rather, they are blurred by meandering plantings and shared views and vistas.

Some of the individual landscape plan drawings are archived in the Library of Congress and the Kiley archive at the Frances Loeb Library of Harvard’s Graduate School of Design. However, it has



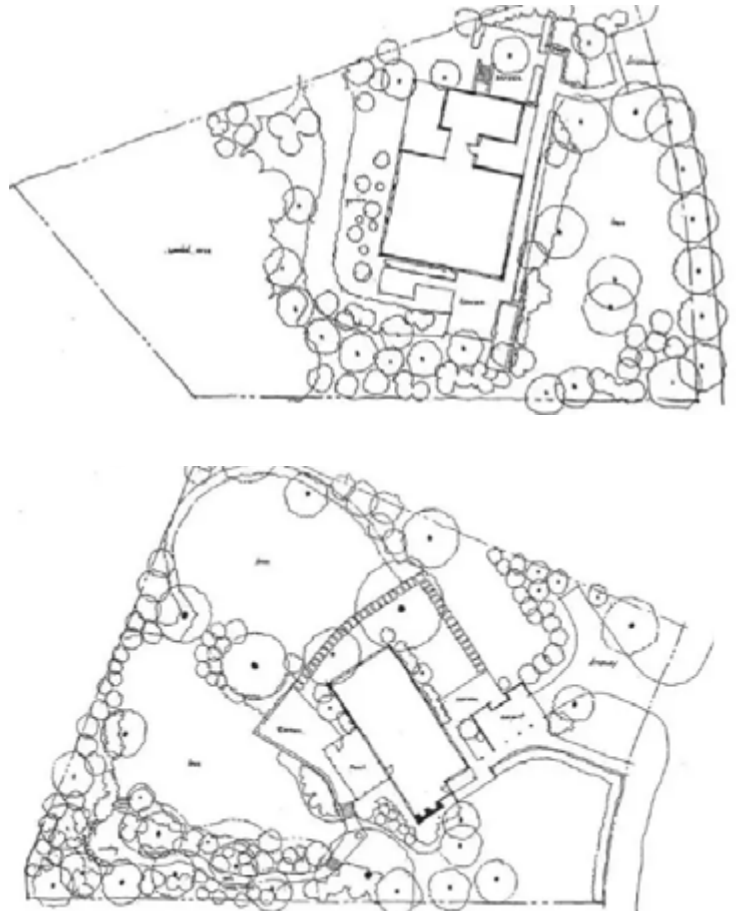
Photograph by Robert C. Lautman.  
*Before You Buy a House* (1953), p.75.



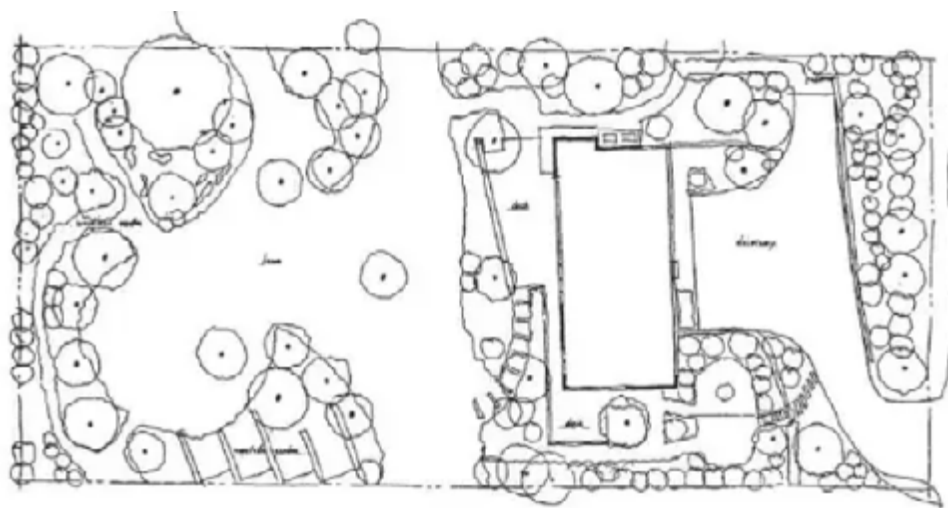
Photograph by Robert C. Lautman.  
*Before You Buy a House* (1953), p.24.

not been determined the extent to which plans were fully or even partially implemented by the property owners. Additionally, the natural setting and character of landscape elements makes it quite difficult to ascertain if any of executed landscape plans are extant today. Research indicates that few, if any, original landscape designs were fully implemented as designed, perhaps due to the high purchase price of the suggested plantings, or property owners' ambivalence or dislike of the designs. Unfortunately, the private landscapes throughout Hollin Hills are much like other private gardens of the postwar era: they are fragile, often the first thing to be created, destroyed, or altered as property changes hands. As a result, many original designs and plantings have been lost. Only vestiges of original landscapes appear to remain, in the form of patios, retaining walls, and mature trees.

Although no confirmed fully intact original landscape plans appear to survive today, the neighborhood on the whole does retain a heavily wooded, informal landscape aesthetic well-aligned with Voigt, Kiley, and Paepcke's original vision.



1950s landscape plan for Risley Residence (top) by Daniel Kiley and Eric Paepcke and Janson Residence (bottom) by Lou Bernard Voigt. *A House in the Woods: A Landscape Aesthetic for Hollin Hills* (1989), p.42, 44.



C. early 1960s landscape plan for Collin Residence by Eric Paepcke.  
*A House in the Woods: A Landscape Aesthetic for Hollin Hills* (1989), p.40.







# 03

## **Historic Overlay District Overview**



## OVERVIEW OF HOLLIN HILLS

Hollin Hills is a mid-twentieth-century residential development that spans 326 rolling wooded acres south of the City of Alexandria in Fairfax County, Virginia. The neighborhood features winding streets, cul-de-sacs, and irregularly shaped lots that embrace the natural sloped topography. Communal parks and woodlands offer shade, privacy, and abundant outdoor space. Buildings are thoughtfully designed to complement the natural landscape, and are generally low-slung, minimally ornamented, and set back from the street.

### Zoning in the HOD

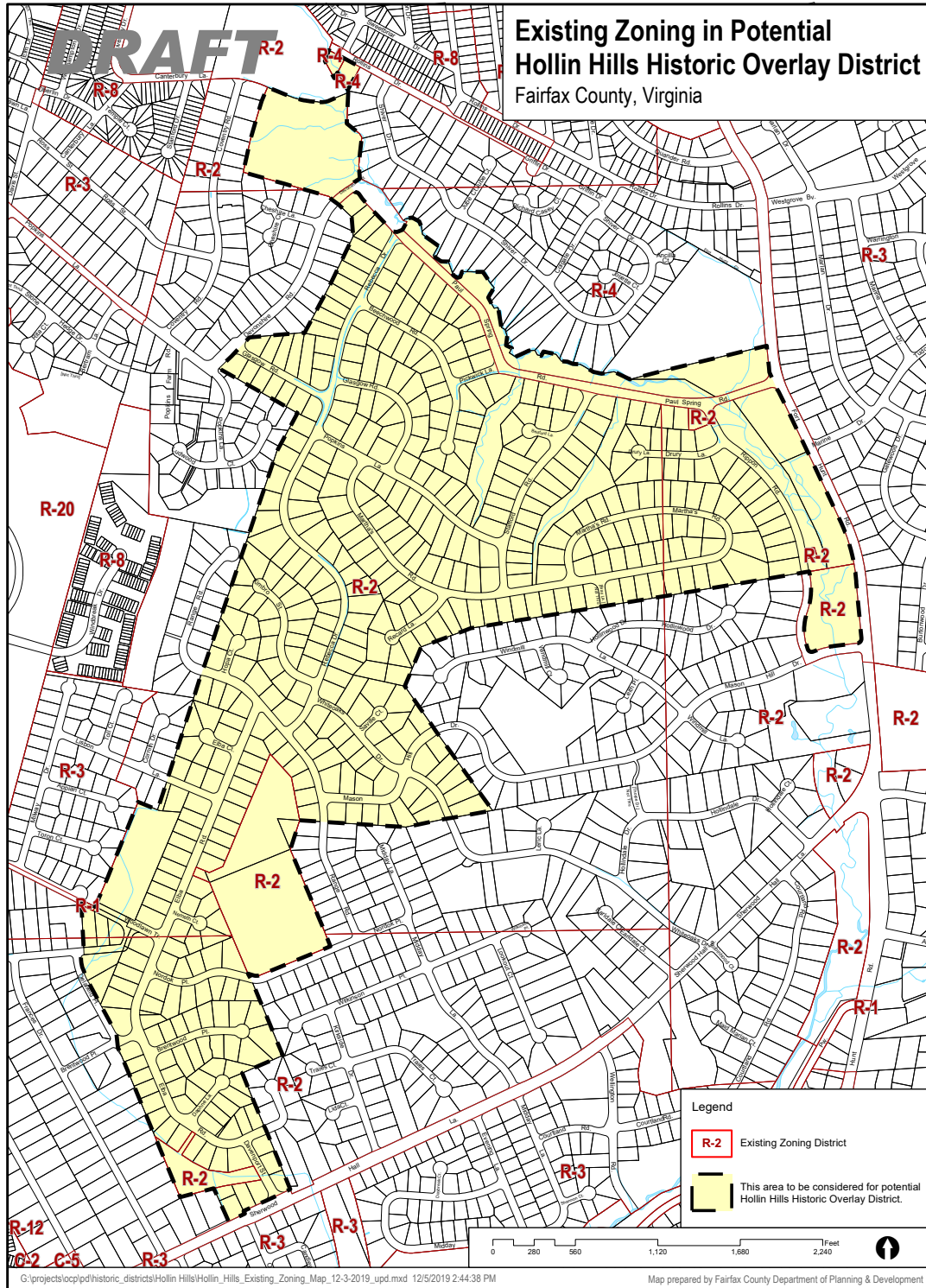
The County's Zoning Ordinance regulates land use types and the allowable intensity of development within Historic Overlay Districts and throughout the County. The Zoning Ordinance guides measurable items such as heights, setbacks, siting, and sizes of structures.

Hollin Hills is part of Fairfax County's R-2 Zoning District (Residential District, Two Dwelling Units/Acre). The R-2 District is established to provide for single-family detached dwellings at a density not to exceed two (2) dwelling units per acre; to provide for affordable dwelling unit developments at a density not to exceed two and four-tenths (2.4) dwelling units per acre; to allow other selected uses which are compatible with the low-density residential character of the district; and otherwise to implement the stated purpose and intent of the Fairfax County Zoning Ordinance.

#### *Hollin Hills Overlay Zone*

The Hollin Hills Historic Overlay District regulations (DRAFT) are outlined in Section 3101.X of the County Zoning Ordinance. According to the regulations, within an HOD, all uses shall be permitted pursuant to the property's underlying zoning district(s), except as expressly modified by the regulations adopted for a particular HOD. In Hollin Hills, any new improvement or addition—including any structure, sign, fence, street furniture, outdoor graphic, and public and private utility -- must be reviewed by the ARB for substantial conformance with the design guidelines and must be designed to be compatible with the architectural and character-defining features of the neighborhood.

<b>Residential District (R-2)</b>						
Lot Size Requirements and Bulk Regulations						
	Min Lot Width	Max Floor Area Ratio	Min Front Yard	Min Side Yard	Min Rear Yard	Max Height
R-2: Residential District - 2 Dwelling Units per Acre	Conventional Lot Subdivision Interior lot: 100 ft. Corner lot: 125 ft.	0.20 for uses other than residential or public  0.25 for public uses	Conventional Subdivision Lot: 35 ft.  All other structures: Controlled by a 45° ABP but not less than 35 ft.	Conventional: 15 ft.  All other structures: Controlled by a 40° ABP but not less than 15 ft	Conventional: 25 ft.  All other structures: Controlled by a 40° ABP but not less than 25 ft	35 ft
ABP: Angle of Bulk Plane DU: Dwelling Unit						



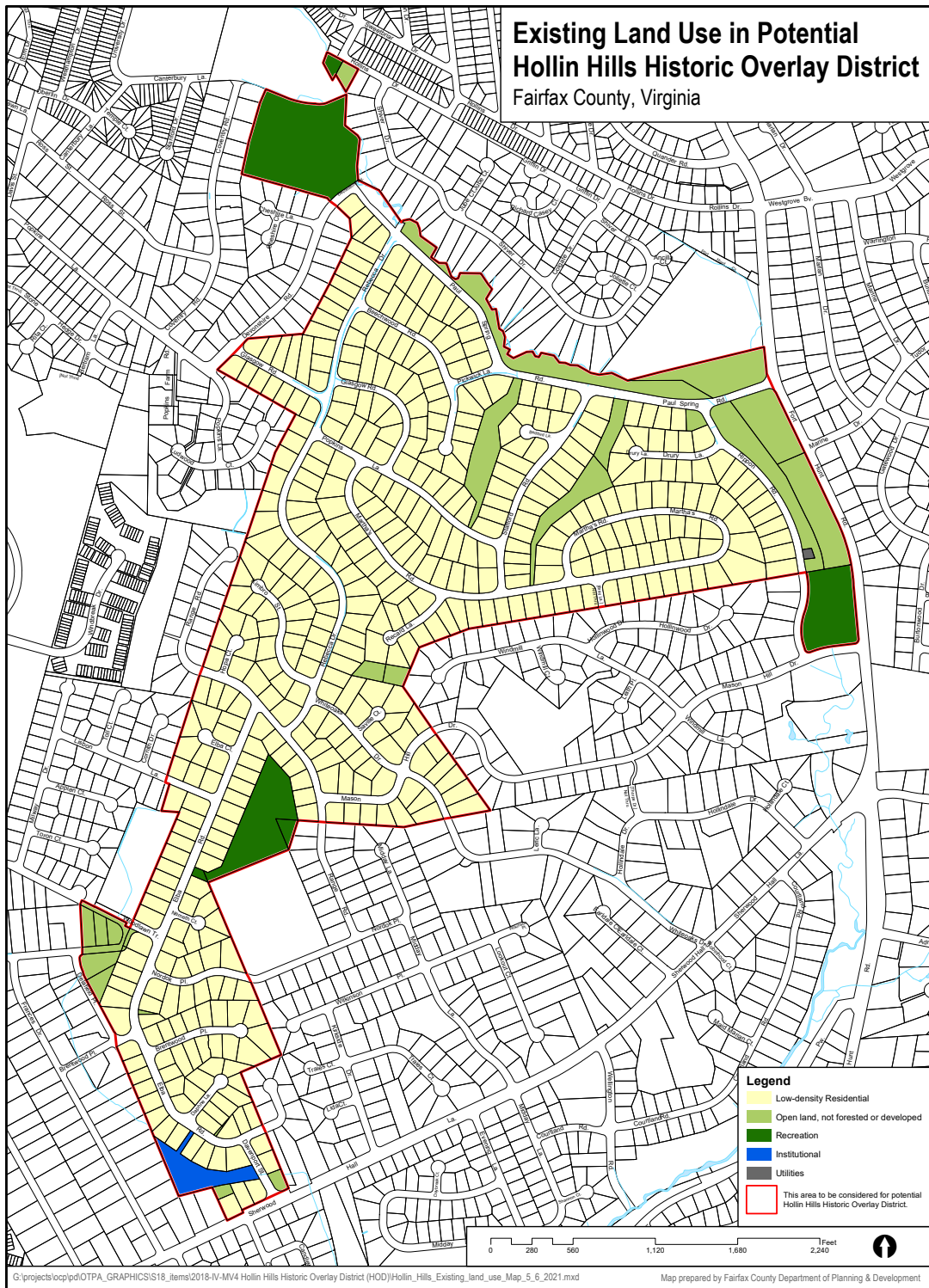
Hollin Hills HOD Zoning Map.



## HOD BOUNDARY

The Hollin Hills HOD boundary consists of 291.27 acres, encompassing the 2013 National Register Historic District as well as select adjacent parcels (primarily park property) that were evaluated and determined related to the HOD. The boundary will continue to exclude surrounding residential development that does not adhere to the modernist aesthetic of Hollin Hills. The boundary reflects Hollin Hills' full development period, which spans from 1946 to 1971. Architect Charles Goodman and developer/builder Robert Davenport first purchased and subdivided the land in 1946. Additional land was acquired in 1956 and development continued until 1971, when the real estate development office closed.

The primary streets that comprise Hollin Hills include Beechwood Road, Brentwood Place, Elba Road, Glasgow Road, Martha's Road, Mason Hill Drive, Nordok Place, Paul Spring Road, Range Road, Rebecca Drive, Stafford Road, and Whiteoaks Drive.



HOD Land Uses and Boundary (shown in red).



## RESOURCE INVENTORY – CONTRIBUTING AND NON-CONTRIBUTING RESOURCES

Properties in the Hollin Hills HOD are classified as either contributing or non-contributing. The label “contributing” indicates that the building is one of several that defines the historic character and significance of the district. They are distinct from “non-contributing” properties, which may be located within a historic district (and subject to certain restrictions as a result) but are not character-defining because they have been altered or were established outside the district’s significant period or development.

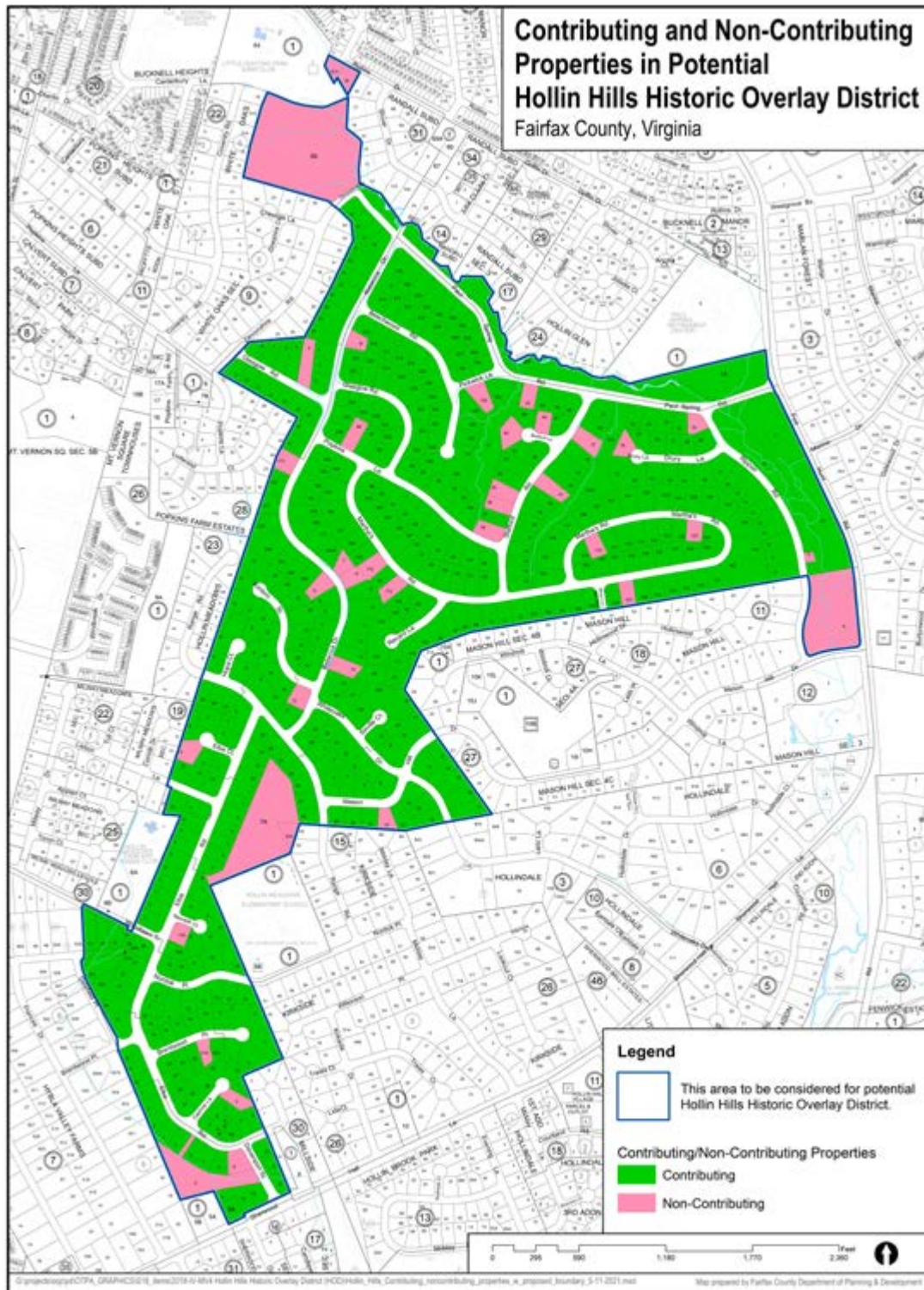
Properties are considered contributing if they retain integrity to the district’s period of significance (1946-1971). Integrity is defined by the National Park Service as the physical characteristics that allow a resource to convey its historical significance. For Hollin Hills, examples of this would include integrity of architecture, materials, landscaping, building siting or topography. Non-contributing properties have either experienced substantial design modifications that post-date the period of significance, or have undergone full or partial demolition, resulting in lost or compromised integrity.

The Hollin Hills HOD contains 468 properties, of which 434 are classified as contributing properties and 34 as non-contributing properties (see full list of properties in ***“Appendix C – List of Contributing and Non-Contributing Properties (DRAFT)” on page 92***).



1951 drawing of a Hollin Hills residence by Charles Goodman.

“Gifts to the Nation, Visual Arts, Charles M. Goodman Archives,” Library of Congress.



Hollin Hills HOD Contributing and Non-Contributing Resources.



## SUMMARY OF DISTRICT CHARACTER

At the time of its development, Hollin Hills was unlike any other neighborhood in Virginia and was among only a few modernist, postwar subdivisions nationwide. Within the boundaries of the HOD, Hollin Hills retains its cohesive modernist architecture representing its period of development and significance (1946-1971).

Unlike many significant modernist developments that went unrecognized for decades, Hollin Hills was acknowledged very early on as a unique and esteemed development. It began receiving accolades in 1951 for its design excellence and has consistently attracted property owners and residents that appreciate the neighborhood's founding principles and aesthetic. Hollin Hills has maintained a great degree of architectural integrity, in part due to design review and covenants instituted by Davenport in the early phase of the neighborhood's development. The design review enforced covenants requiring alterations and additions to maintain harmony and conformity with the original buildings. The early oversight of Goodman and Davenport, paired with good stewardship of property owners and tenants and the existing neighborhood design review process, has gone a long way to retain the physical and modernist character of Hollin Hills.

The Civic Association of Hollin Hills Design Review Committee (previously, the Architectural Review Committee), has long consisted of volunteer community members of different interests and areas of expertise that serve for limited time periods. With the aid of community-developed design guidelines, the DRC has guided the construction of many successful additions throughout the neighborhood. The majority of homes in Hollin Hills have at least one addition, if not multiple, and yet the neighborhood retains its midcentury character. Hollin Hills has evolved over the decades as lifestyles and preferences have changed, but the community's continuing commitment to preserving its unique built environment has remained steadfast.

### Character-Defining Features

Character-defining features include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment. In the case of Hollin Hills, character-defining features include the pioneering modern design of standardized modular unit types, the open interior plans augmented by trimless window walls, and the siting of houses that celebrated the sloped and wooded topography. Defining characteristics of Hollin Hills are identified on the following pages.

## MIDCENTURY MODERN CONTEMPORARY DESIGN AND CONSTRUCTION

- Clean horizontal lines
- Simple, unadorned, distinctive designs
- Absence of superfluous decorative ornamentation
- Modern, minimalistic exterior hardware and lighting
- Post and beam construction
- Flat roofs and low-slung roofs of varying forms
- Standardized house plans with prefabricated modular elements
- Interior living space that flows to exterior porches and/or patios

## BUILDING SITING

- Houses set back from the street and often skewed or sited at an angle from the street providing privacy and shared vistas
- Houses sited based on the natural topography and landscape features. Buildings lie “within” rather than on top of landscape
- Houses oriented with consideration of the sun, existing vegetation and trees, views, and the relationship between adjoining houses and roads
- Unit types and sizes tailored to sites

## MASSING AND FOOTPRINT

- Generally cubic shapes that allow the structural skeleton to be exposed
- Square, rectilinear and L-shaped footprints

## BUILDING HEIGHT

- Primarily one-story or split-level buildings on flat or low-sloped landscapes
- Primarily two-story or split-level buildings built into sloped landscapes







## WINDOWS

- Large exposures of glass windows designed to bring the outside in
- Floor-to-ceiling windows (often in 3-foot-wide window modules)
- Thin, narrow, unobtrusive window frames (steel for opening windows or wood for fixed windows)
- Free of traditional ornamentation such as moldings/trim
- Fixed, casement, slider, awning, and clerestory windows

## DOORS

- Single-leaf, wood, flush-style main entry doors, often topped with transoms
- Single-leaf, glazed, wood-frame doors (typically the same height as adjacent windows, with a single horizontal cross bar the same size as—and aligned with—the cross bar in adjacent windows)
- Glazed steel-frame sliding doors that typically open to patios and decks
- Doors set within window walls, assuming size and proportion of window modules
- Doors within recessed entry vestibules

## DESIGN FEATURES AND MATERIALS

- Brick or concrete block foundations and walls
- Painted wood cladding (horizontal beveled; vertical tongue-and-groove; T-111 plywood with grooves every 4" or 8"; or smooth plywood)
- Glass window walls
- Variegated brick walls and features that exhibit a range of brick colors and textures. Brick elements in Hollin Hills were frequently constructed with brick salvaged from building construction sites, giving the brick its worn, varied, and distinctive appearance.
- Brick chimneys that form end walls or applied as sculptural elements which break a glazed elevation

## ROOF SHAPES AND ROOF ELEMENTS

- Flat roofs, typically with no overhanging eaves
- Low-slope butterfly, gable, and shed roofs, typically with deep overhangs and narrow eave profiles
- Roofs covered with visually flat materials such as tar and gravel or asphalt roofing
- Exterior and interior brick chimneys that rise above the roofline and are often massive in scale (either stepped in profile or rectilinear)
- Wood-clad, low-profile, central cupolas

## ACCESSORY STRUCTURES

- Carports (now required by code to be attached) and breezeways that are light and open in character
- Attached or detached (non-dwelling) code-compliant accessory structures including sheds and storage vestibules that are compatible with the aesthetic of the property, adjoining properties, and surrounding neighborhood

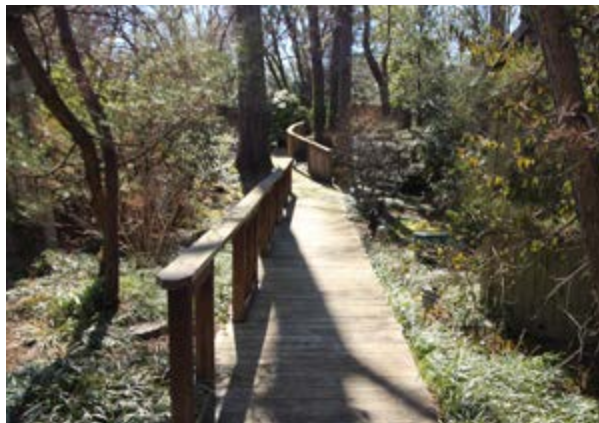






## LANDSCAPES AND STREETSCAPES

- Varied topography (unaltered from natural state)
- Lush and mature landscaping; houses sited around existing trees
- Organic, generally curvaceous landscape plans that complement the rigid geometry of Hollin Hills' houses
- Houses set back from the street with generous rear and side yards
- Individual gardens connected to the next with little or no barrier; blurred property lines
- Permeable or gravel driveways, parking pads, and walkways
- General absence of fences creating sense of flow between lots and providing shared views of natural features (note that there were a few fences original to the neighborhood but they were generally discouraged)
- Streets and lots laid out to respect the contours of the wooded land
- Curvilinear road pattern
- Cul-de-sacs and 3-way T-intersections to reduce through traffic



## Alterations and New Development

Hollin Hills retains much of its architectural and landscape character-defining features. There have been alterations and additions in the neighborhood over the years that serve as examples of how to successfully design within the framework of the existing architecture. However, the neighborhood has also seen a few demolitions and new builds, a number of incompatible alterations and additions, inappropriate replacement of original materials, and some replacement of original materials (see representative examples below). There have also been examples of incompatible fencing and other site features that negatively alter the relationship between buildings and their landscape.

The Hollin Hills HOD Design Guidelines that follow have been formulated to foster compatible and appropriate change. Recommended and not recommended treatments are provided to meet project objectives while minimizing detrimental impacts to the historic character of the district as a whole.



New construction with incompatible massing, roofline, and fenestration pattern (not recommended).



Incompatible addition with a steep sloped roof and new entry with a parapet (not recommended).



Large front addition that overwhelms and obscures visibility of the original house (not recommended).

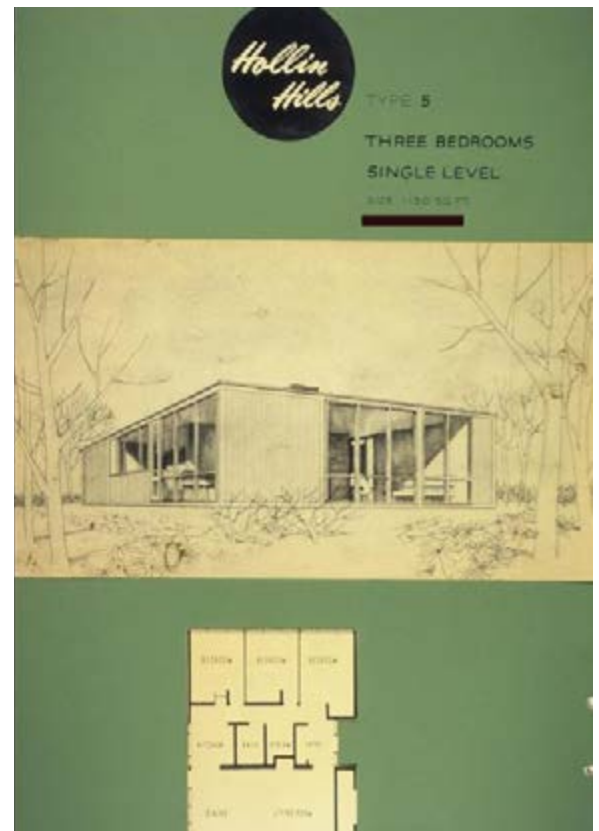
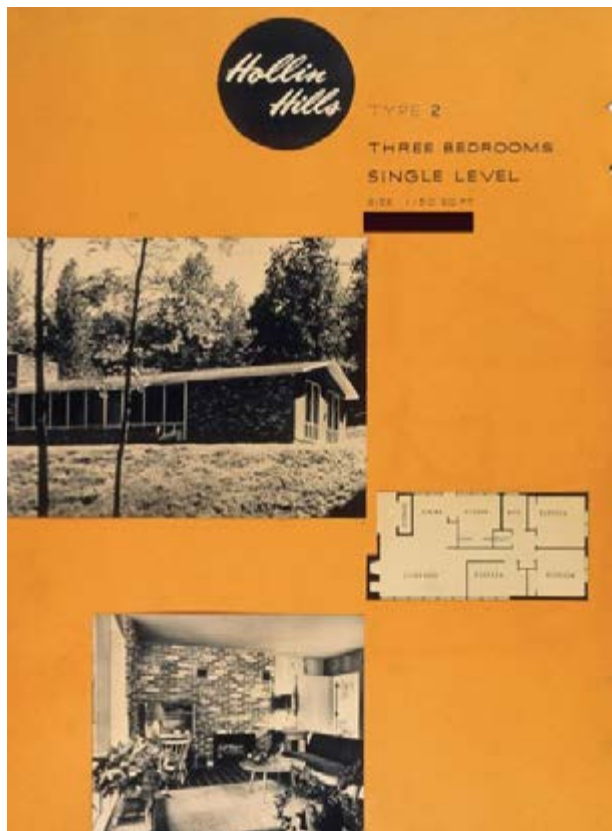


Incompatible second-story addition with an irregular roofline (not recommended).



## Typical Hollin Hills Unit Plans - Descriptions and Diagrams

From the beginning, Hollin Hills architect Charles Goodman and developer Robert Davenport worked to balance their strong foundational vision for the neighborhood with buyers' tastes and financial profit. They made sure to offer a variety of residential unit types at varying price points, making adjustments as they went based on what worked and what sold. Goodman began with three basic models for Hollin Hills: 1) a split-level house, 2) a one-story slab-on-grade house, and 3) a two-story house. Working with a standardized unit concept, he developed eight types of units, each with additional variants. House units were coded by number and letter, denoting elements such as number of levels and how many extra feet were added. At times, elements of one unit type were incorporated into another; as a result, it is rare that two houses in Hollin Hills are exactly the same. Potential buyers could also customize the features and finishes of their house, increasing the diversity of appearance throughout the neighborhood. The following pages identify and describe the most common unit-type plans seen in Hollin Hills.



Unit Type #2 (image left) and Type #5 (image right). The National Building Museum.



Unit Types, top to bottom: Unit #1B (c. 1950); Unit #2B42LB (no date); Sales folio logo used by Davenport as early promotional material (c. 1950s)(historic image of Unit #3 not found); Unit #4 (c. 1950); Unit #5A (c. 1952); Unit #6 (c. 1952); Unit #7L (c. 1954); Unit #8 (1993). *Hollin Hills, A Community of Vision* (2000), p.5; 10; 49-66.



## Unit #1

Unit #1 was designed and introduced in 1949 as one of the first unit types in Hollin Hills. 24 Unit #1 house types (and Unit #1 variations) were constructed in Hollin Hills, primarily along Rippon Road, on portions of Drury Lane, and along Paul Spring Road. The unifying character-defining features of Unit #1 homes, and all unit types to follow, include massing, roof form, siding, window type, orientation, and construction method.

Unit #1 variants include Unit #1B and 1BE, both introduced in 1949. These variants have different interior layouts from Unit #1 homes but share many exterior similarities.



Example of Unit Type #1B  
(1805 Drury Lane, built in 1949).



Example of Unit Type #1B  
(7310 Rippon Road, built in 1949).



Example of Unit Type #1BE  
(7308 Rippon Road, built in 1950).

### **Features of Unit #1 and Variants:**

- Typically sited on a sloped lot
- Split level, often viewed as two or three stories depending on the slope of the site
- Upper level cantilevered out beyond the lower level
- Lower level(s) predominantly concrete block, optionally faced in brick
- Upper level is wood-frame construction, typically clad with 1" x 4" vertical siding or 1" x 4" horizontal beveled wood siding
- Bands of floor-to-ceiling windows, each with a large fixed upper sash and a smaller fixed or operable lower sash
- Fixed and operable windows
- Large interior brick chimney rising from center
- Low-sloped gable roof and shed roofs with wide overhanging eaves
- Integrated into the landscape, sometimes with an upper-level terrace that extends from the living area through the glass doors

## Unit #2

Unit #2 was designed and introduced in 1949. Unit variants 2K4, 2K4B4, and 2B42LB were also introduced in 1949. 2K4 included an addition of four feet in the kitchen, and 2K4B4 included four-foot kitchen and bedroom additions. 2B42LB was designed as the largest of the Unit #2 variations. Unit #2 Butterfly was introduced a few years later in 1952. It featured a butterfly roof with tapered 4' overhanging eaves. Unit #2 and its variations have different interior layouts but share many exterior similarities.



Example of Unit Type #2  
(1805 Paul Spring Road, built in 1950).



Example of Unit Type #2B42LB  
(1921 Martha's Road, built in 1951).



Example of Unit Type #2 Butterfly  
(2105 Paul Spring Road, built in 1953).

### **Features of Unit #2 and Variants:**

- Unit #2, 2K4, 2K4B4, and Butterfly are one story typically sited on flat lots, while Unit #2B42LB is two stories typically sited on a sloped lot
- Typically 25' deep by 46' wide; enlarged up to 54' in width by adding 4' increments on either or both ends
- Brick or concrete block foundation and concrete slab
- Clad in 1" x 4" vertical wood siding or brick
- Floor-to-ceiling windows up to 28' or 31' across with fixed upper and operable lower sash (Unit #2 variants)
- Used-brick chimney, typically exterior
- Low-sloped roof (gable or butterfly)
- Entry porch with external storage closet (Unit #2)
- Design options for the building exterior included brick; beveled horizontal siding in place of the standard 1"-x-4" vertical siding; an extra exterior glass door; and a terrace



### Unit #3

Unit #3 was designed and introduced in 1950 as a variation of the Unit #2 model. There were some later two-story models of Unit #3, but the original design encompassed 1,600 square feet.



Example of Unit Type #3  
(1910 Martha Road, built in 1952).



Example of Unit Type #3  
(7208 Rebecca Drive, built in 1954).



Example of Unit Type #3  
(1916 Martha's Road, built in 1952).

#### **Features of Unit #3:**

- Typically sited on a flat lot
- One or two stories (depending on site grade)
- Typically 1,600 square feet (28' by 58')
- Wood-frame building set on brick or concrete block foundation and concrete slab
- Clad in 1" x 4" vertical wood siding
- Floor-to-ceiling window units measure up to 28' across with fixed upper and fixed and operable lower sashes
- Used brick chimney
- Low-sloped gable roof
- Design options included brick rather than concrete block on the exterior face of the bedroom walls and the foundation, and horizontal beveled wood siding in place of the standard 1" x 4" vertical siding

## Unit #4

Unit #4 was designed and introduced in 1950 as a two-story smaller version of the Unit #2B42LB. Goodman designed the upper level to cantilever slightly over the lower level, and he moved the chimney, reduced in size, to an inside wall. The model included an entry vestibule, study and three bedrooms on the upper level, with the kitchen, combined living and dining area, full bath, and utility/storage on the ground level.



Example of Unit Type #4  
(7315 Stafford Road, built in 1952).



Example of Unit Type #4  
(7317 Stafford Road, built in 1952).



Example of Unit Type #4  
(7319 Stafford Road, built in 1952).

### **Features of Unit #4:**

- Typically sited on a sloped lot
- Two stories, viewed as one story from front
- The upper level is cantilevered slightly
- Typically 1,600 square feet (26' by 34')
- Wood frame building set on brick or concrete block foundation and concrete slab
- Clad in 1" x 4" vertical siding; bedroom walls faced with brick
- Floor-to-ceiling window units have fixed upper and fixed and operable lower sashes
- Used brick interior chimney, small in size
- Low-sloped gable roof with wide overhanging eaves



## Unit #5

Unit #5 was designed and introduced in 1952 as a one-story, cubic model with a raised roof section with clerestory windows to provide natural light. Variant #5A is nearly the same as Unit #5 but has a slightly different framing and rafter structure. These models ushered in Goodman's "frame and infill" aesthetic, where interior framing was directly expressed at the exterior. Larger two-story variants #5B and #5CS were introduced in 1954 and 1952, respectively, and have different interior layouts but share many exterior similarities. #5CS is larger than #5B due to enlarged entry decks and another bedroom and bath at the lower level. The cubic variants were designed to accommodate both the steeper slopes of the landscape and prospective buyers' requests for larger houses.



Example of Unit Type #5A  
(7213 Beechwood Road, built in 1952).



Example of Unit Type #5B  
(7211 Rebecca Drive, built in 1953).



Example of Unit #5CS  
(7419 Hopa Court, built in 1969).

### **Features of Unit #5 and Variants:**

- Suitable for flat (#5 and 5A) or sloped lots (#5B and 5CS)
- One-story building atop a raised concrete block foundation (#5 and 5A)
- Two-story building atop concrete block foundation, banked into slope with upper level cantilevered over lower level (#5B and 5CS)
- Unit #5 typically 1,150 square feet (31' by 37')
- Clad in wood siding (T-111 or vertical tongue-and-groove wood siding)
- Lower-level glazing (full or partial-height)
- Floor-to-ceiling window walls at upper level
- Hardboard infill panels
- Interior brick or concrete block chimney
- Flat built-up roof with no overhang and a central low cupola (#5, 5A, 5B)
- Low-sloped shed roof with very wide overhanging front eaves (5CS)
- Two small entry decks typically projected from both sides of the house (#5B)
- Sleeping spaces arranged around a central mechanical core containing kitchen, bath, and utility room

## Unit #6

Unit #6 was designed and introduced in 1952 in response to the demand for larger houses.

### **Features of Unit #6:**

- Typically set on a sloped lot
- Two stories, with upper level cantilevered over lower level
- Wood frame construction atop a brick or concrete block foundation and concrete slab
- Typically measures 2,150 square feet (27' by 44')
- Upper level clad with vertical tongue-and-groove wood siding
- Window walls typically at side elevations
- Interior brick chimney rising from the center
- Low-slope butterfly roof with wide overhanging eaves at side elevations
- Terraces and decks at ground level providing transitional indoor-outdoor space



Example of Unit Type #6  
(2119 Paul Spring Road, built in 1953).

## Unit #7L

Unit #7L was designed and introduced in 1954 by architects Charles Goodman and Eason Cross, Jr. The house is based on a 12' planning module.

### **Features of Unit #7L:**

- Typically set on a flat lot
- One story
- Typically measures 1,250 square feet (25' by 50')
- Brick or concrete block foundation
- Prefabricated 12' by 8' wood panels constructed off-site
- Exterior used brick chimney
- Low-sloped gable roof with wide overhanging eaves
- Freestanding storage vestibule



Example of Unit Type #7L  
(2207 Paul Spring Road, built in 1954).



## Unit #8



Example of Unit Type #8  
(7413 Rebecca Drive, built in 1959).

Unit #8 was designed and introduced in 1958. These models feature some of the largest windows in Hollin Hills.

### **Features of Unit #8:**

- Two stories, T-shaped plan
- Brick or concrete block foundation
- Clad in beveled horizontal wood siding
- “Frame-and-Infill” aesthetic
- Upper part of exterior bays infilled with two sheets of fixed glass, each nearly 6’ wide
- Smaller fixed and operable windows arranged in the lower window sections
- Fixed glass almost 7’ wide used for elongated windows of living/dining room area
- Interior used brick chimney
- Low-sloped roof with wide overhanging eaves (cathedral ceiling interior)

## Unit #57



Example of Unit Type #57  
(7714 Elba Road, built in 1960).

Unit #57 was designed and introduced in 1955 and is also known as “The Award.” This square-shaped model was similar but larger than the earlier Unit #5 models. The #57 Rectangle, also known as “The Award Special,” is longer in width to satisfy varying needs of the buyer.

### **Features of Unit #57:**

- The Award measures 1,370 square feet (37’ by 37’) and the Award Special measures 1,730 square feet (36’ by 48’)
- 12’ wide exterior wall areas of plywood are prefabricated wall panels
- Narrow or wide windows
- Exterior used brick chimney
- Flat roofs with no overhang and a small louvered ventilation box on the roof
- Skylights pierce the roof over the bathrooms

## Unit Type Main Line and Main Line 2L

The Main Line was designed and introduced in 1958. It is a slightly larger version of the Unit #7L. The Main Line 2L was introduced in 1960 as a variation of the Main Line.

### **Features of Main Line:**

- Suited for flat lots (Main Line) or sloped lots (Main Line 2L)
- One story (Main Line) or two stories (Main Line 2L)
- For Main Line 2L, the upper story is cantilevered on the long downhill side of the house
- 1,385 square feet (26' x 54')
- Brick or concrete block foundation
- Prefabricated 12' by 8' wood panels constructed off-site (Main Line) or T-111 vertical wood siding (Main Line 2L)
- Fixed windows above with fixed or sliding windows below
- Exterior used brick chimney
- Low-sloped gable roof with wide overhanging eaves and a low cupola for ventilation



Example of Unit Type Main Line  
(2406 Nordok Place, built in 1959).

## Unit Type Custom Line

The Custom Line was designed and introduced in c.1958-60 as a larger version of the Main Line.

### **Features of Custom Line:**

- One story
- Brick or concrete block foundation
- Rectangular footprint
- 1,700 square feet (26' by 66')
- Prefabricated 12' wide by 8' high panels constructed offsite
- Exterior brick chimney
- Low-sloped gable roof with wide overhanging eaves



Example of Unit Type Custom Line  
(2400 Brentwood Place, built in 1958).



### Unit Type Decca



Example of Unit Type Decca  
(2103 Mason Hill Drive, built in 1966).

The Decca was designed by Robert Davenport and introduced after 1961, following the departure of Charles Goodman. It is similar to Goodman's Unit #2.

#### **Features of Decca:**

- Two stories
- Brick or concrete block foundation
- Rectangular footprint
- Typically entered from uphill side
- Wood-frame
- Clad with T-111 siding
- Upper-level floor-to-ceiling window walls up to 28' wide have fixed upper windows and fixed or operable lower sashes
- Gable-end exterior used brick chimney
- Gable roof with wide overhanging eaves

### Unit Type Atrium



Example of Unit Type Atrium  
(2202 Whiteoaks Drive, built in 1968).

The Atrium was designed and introduced in the late 1960s. It is one of the few unit types designed by developer Robert Davenport after Goodman's departure in 1961.

#### **Features of Atrium:**

- One or two stories in height depending on site and buyer preference
- Brick or concrete block foundation
- Square footprint
- Open central interior courtyard atrium
- Lower level faced with brick
- Upper level (if two stories) clad in T-111 siding
- Fixed upper windows over fixed and operable lower sashes
- Single and paired casement and sliding windows
- Flat roof with no overhang

## Unit Type Alcoa 57

The Alcoa 57 was designed and introduced in 1957. The all-aluminum house was designed by architect Charles M. Goodman for the Aluminum Corporation of America. The one-story house has purple anodized aluminum exterior wall panels (12' wide by 8' high) and blue aluminum batten-seam sheets on the roof. Architect Eason Cross designed the blue anodized decorative grillwork and the exterior perforated brick walls.


The Alcoa 57 was developed as an experimental prototype that explored new uses for aluminum in residential construction. Goodman's designs were constructed on various sites around the country to demonstrate how aluminum could be used in housing. Advertising brochures assured prospective buyers that this new house would "make a reality of your dreams of lighter, brighter living." However, the cost of building the Alcoa 57 was much higher than projected and the nationwide building program fizzled.

The Alcoa 57 House at 7801 Elba Road is the only example in Hollin Hills.



Example of Unit Type Alcoa 57  
(7801 Elba Road, built in 1957).





HISTORIC DISTRICT

HOLLIN  
HILLS



# 04

## **District-Specific Guidelines**



## HOLLIN HILLS DISTRICT-SPECIFIC DESIGN GUIDELINES

The purpose of these HOD-specific guidelines is to maintain, strengthen, and enhance the historic and architectural character of the district. As stated in Section 3101.6(G) of the Fairfax County Zoning Ordinance, these guidelines are designed to preserve the historic integrity of the district. They offer practical guidance for property owners, the design community, County staff, and the ARB when determining the appropriateness of proposed work during the project planning and review process.

The guidelines strongly encourage preservation where possible, but also support creative, compatible changes that uphold the district's renowned modernist design legacy. Due to the mass-produced, pre-fabricated, and inexpensive materials used throughout the neighborhood during the mid-twentieth century, it is well understood that alterations, material replacement, and upgrades are often necessary to ensure the continued preservation of the community and its modernist resources. While repair and retention of historic elements and materials is always the preferred course of action, replacement can also be an appropriate solution. Ideally, elements and materials can be replaced in-kind (meaning a matching replacement). However, Hollin Hills was founded on experimental architectural principles and was always intended to evolve over time. In that vein, new, compatible elements and materials may be harmoniously introduced when replacement in-kind is not feasible.

To promote both preservation best practices and allow for necessary alterations, the Design Guidelines provide information on maintenance, repair, and replacement, and also offer guidance for new construction, additions, and site elements. Not all categories covered in the Design Guidelines are items that require a permit. Rather, the guidelines are meant to be a comprehensive document providing general guidance covering a wide range of project types. For more information on what work requires and does not require ARB review, see ***"Historic Overlay District Regulations and Project Review Summary" on page 4.***

Applicants should also reference the ***Historic Overlay District General Design Guidelines*** which outlines the ARB review process, standards of review, as well as design principles and general guidance applied to all HODs.\*

\*The General Design Guidelines are in progress. A link to the General Design Guidelines will be provided in a subsequent iteration of this document.

To limit changes that are out of character with the neighborhood, the guidelines are meant to encompass the entire HOD, inclusive of both contributing and non-contributing properties. These guidelines do allow for more non-conformity when applied to non-contributing properties; however, changes made to non-contributing buildings are still likely to affect the character of the district and are thus subject to review.

In Hollin Hills the relationship of houses to the surrounding landscape is connected, and the term "visible" is not necessarily limited to the primary façade, which is frequently street-facing. The use of the term "visible" includes elevations in view of the public right-of-way and between neighboring buildings within shared view sheds. These guidelines are meant to be flexible and should be tailored to site-specific conditions as projects are considered.

## What Design Guidelines Can and Cannot Do

This Design Guidelines publication is a Fairfax County Department of Planning and Development policy document that expands upon the Hollin Hills Overlay District section of the Zoning Ordinance. The Design Guidelines outline recommendations, not requirements. The intent of the guidelines is not to stunt inventive design nor preserve Hollin Hills as a snapshot in time. Rather, the guidelines are meant to support the community's continued evolution and its celebration of experimental and modern architecture. The guidelines do not provide absolute or case-specific advice, or address exceptions or unusual conditions. Sometimes a creative, thoughtful design solution--one that does not neatly fit the guidelines but may result in a better project while remaining compliant with zoning law and building code--will be approved by the ARB. There may be constraints inherent to a specific property or its materials that will preclude the "ideal" solutions recommended throughout this document and require a more practical approach. The guidelines are meant to be flexible in nature, to help in the delicate balancing act of preserving the best of the past while building the best of today.

### Guidelines Do:

- Aid citizens, property owners, and design professionals to better understand the ARB's review process and meet ARB Standards, which are based on the *Secretary of the Interior's Standards for Rehabilitation*.
- Provide objective criteria the ARB can use to better protect and preserve the unique and valuable historic resources of Fairfax County.
- Provide a better understanding of an HOD's physical and historic character.
- Assist the evolution of HODs in a sensitive manner that meets contemporary needs while retaining characteristic features.
- Outline a degree of adaptability appropriate within HODs that is well-aligned with preservation standards.

### Guidelines Don't:

- Dictate that all historic buildings must remain as they were originally.
- Resolve all design challenges and concerns within an HOD.
- Give case-specific advice, or address exceptions or unusual conditions.
- Give absolute direction as to specific standards or requirements, such as square footage.
- Require that existing non-complying conditions be reversed to meet the guidelines.
- Regulate interior design.
- Regulate or increase new construction or rehabilitation activities (that is the role of the private market).
- Improve maintenance of existing properties (locally adopted maintenance codes contain those requirements).
- Become part of, nor an amendment to, the County's Zoning Ordinance which continues to regulate land use types and the intensity of development within Historic Overlay Districts and throughout the County.



## Organization of Guidelines

The following District-Specific Guidelines for the Hollin Hills HOD are organized based on three general treatment approaches and project types:

- 1) Guidelines for Preserving Architectural Character: Preservation and Rehabilitation of Existing Buildings
- 2) Guidelines for Architectural Compatibility and Neighborhood Cohesion: New Construction and New Additions
- 3) Guidelines for Preserving Setting: Landscape, Streetscape, and Archaeology

Within each section, guidelines are shown as either “Recommended” or “Not Recommended.” Work treatments and techniques that are consistent with the *Secretary of the Interior’s Standards for Rehabilitation* are “Recommended” and those that are inconsistent with the Standards are “Not Recommended.” The *Secretary of the Interior’s Standards for Rehabilitation* (36 CFR 67) are published by the National Park Service and are considered to be the benchmark for appropriate preservation practice nationwide. They are used by the Fairfax County ARB and staff during review of proposed projects in the HOD. While the Standards provide a general framework and the key principles that should be considered as part of a proposed project, exceptions to these guidelines may be permitted in consultation with the ARB on a case-by-case basis depending on project- and site-specific considerations.



Photograph by W. Eugene Smith, commissioned by the American Institute of Architects in 1957. *Hollin Hills, A Community of Vision* (2000), p.25.

## Secretary of the Interior's Standards for Rehabilitation

The *Secretary of the Interior's Standards for Rehabilitation* are used by Fairfax County ARB and staff in their review of proposed projects in the HOD. The *Secretary of the Interior's Standards* (36 CFR Part 67), developed by the National Park Service and used by many local jurisdictions, offer four distinct approaches to the treatment of historic properties—preservation, rehabilitation, restoration, and reconstruction—with accompanying Guidelines for each. They apply to historic buildings of all periods, styles, types, materials, and sizes.

The *Standards for Rehabilitation* provide the basis for the HOD Design Guidelines and include ten basic principles created to help preserve the distinctive character of an historic building and its site, while allowing for reasonable change to meet new needs. The *Standards for Rehabilitation* are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



## GUIDELINES FOR PRESERVING ARCHITECTURAL CHARACTER: PRESERVATION AND REHABILITATION OF EXISTING BUILDINGS

This section contains guidelines that address general maintenance issues for homes in Hollin Hills. Many of the construction techniques, materials, and mechanical systems in Hollin Hills were selected for their affordability, and as a result require diligent maintenance and sometimes replacement. As a general best practice in historic preservation, retention and repair of original features is always preferred, but in cases where a material or system has aged or deteriorated such that it requires replacement, it should be replaced in kind. In kind replacement refers to the replacement of an original feature with a new feature of the same material, design, and scale. Preservation and rehabilitation projects should follow a treatment hierarchy that begins with minimally invasive actions such as repair and, when appropriate, progresses to replacement of original features in kind. If features have already been altered, then restoration to an original appearance is encouraged but not required. When thoughtfully carried out, preservation, rehabilitation, and maintenance of buildings in the HOD can be successfully implemented without negatively impacting the neighborhood's historic character.

### **Project Review and Permit Requirements:**

The following types of projects require a permit and review by the ARB:

- Partial or total demolition
- New construction or additions
- Major exterior alterations
- Porches and decks (including alterations to existing)
- Retaining walls, stairs, and stoops

For a complete list of projects that require a building permit and thus review by the ARB visit: <https://www.fairfaxcounty.gov/landdevelopment/when-permit-required>

### **Building Elements and Features**

The following sections address recommended and not recommended treatments for the below building elements and features:

- Foundations
- Walls and Exterior Cladding
- Roofs, Roof Features, and Roof Materials
- Entrances, Porches and Decks
- Windows, Window Features, and Glazing Materials
- Details and Ornamentation
- Mechanical Systems and Plumbing
- Garages, Carports, and Non-Attached Structures

## Foundations

The foundation forms the base of a building and is extremely important to the overall stability of the entire structure. Most buildings in Hollin Hills have a concrete block below-grade foundation topped with a concrete slab. Concrete slab foundations are always low in profile and visibility; sometimes they are clad in brick veneer. Many multi-level houses on sloped sites often feature a partially exposed ground or basement level, where an above-ground concrete block or brick foundation doubles as an exterior wall. These homes are “banked” into the sloped landscape, with only the downhill portion of the building exposed. As a building element, foundations (along with the walls and other architectural elements) contribute to the clean, horizontal, minimal aesthetic of homes in Hollin Hills.

### GUIDELINES

#### **Recommended (Appropriate Treatment):**

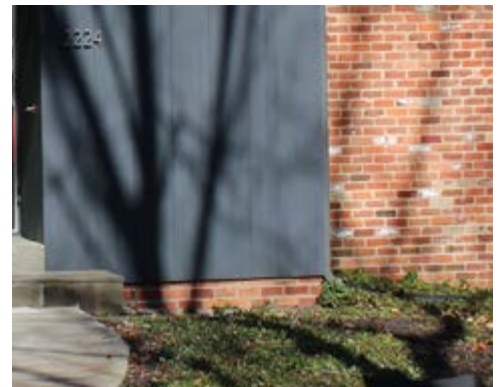
- Retaining, preserving, and repairing concrete or brick-clad above grade foundation walls
- Ensuring that water flows away from the foundation

#### **Not Recommended (Inappropriate Treatment):**

- Using non-original materials, such as stone or wood (or any material that visually contrasts with walls above) for cladding of visible foundation walls
- Altering the original height of the foundation above grade



Low-profile concrete slab foundation (recommended).



Detail of foundation and wall clad in brick (recommended).



A “banked slope” building with above-ground concrete block foundation walls (recommended).



A “banked slope” building with above-ground brick walls that extend from the foundation (recommended).



## Walls and Exterior Cladding

Homes in the HOD utilize post and beam wood construction, a type of timber construction where vertical posts and horizontal beams create a framework to carry the floor and roof loads. This building method eliminated the need for bulky support walls and allowed for large expanses of glazing. In addition to prominent glazing, homes in Hollin Hills often feature vertical 1"-x-4" tongue-and-groove wood siding, grooved T-111 siding (plywood with grooves cut every 4" or 8"), smooth plywood, or beveled horizontal wood siding. Brick veneer and concrete masonry are also common cladding materials. Glass window walls (windows comprising much or all of an elevation) are also a prominent "wall" material. Hardboard or Masonite panels (unfinished composite panels made from residual wood fiber, such as chips and shavings) are less common but present throughout the neighborhood. Large structural, salvaged brick chimneys often

function as walls (see Roof section to follow for additional chimney guidance). One home in the HOD, the Alcoa House, is clad in anodized aluminum panels. Original or in-kind exterior cladding materials, along with supporting architectural elements, strongly influence the aesthetic of a home and the surrounding neighborhood.



Example of a variegated salvaged brick wall in Hollin Hills.

Brick elements throughout the HOD were commonly constructed of "used" or "salvaged" brick. As the name implies, these bricks were reclaimed from the demolition of older buildings. As a result, the brick is softer than other bricks produced during the period and has a more uneven and worn character. Brick walls often have a variegated appearance with colors ranging from a lighter "salmon"-colored brick to a darker-colored sturdier brick.

### GUIDELINES

#### **Recommended:**

- Performing basic maintenance to maintain and prolong the life of original cladding materials
- If necessary due to deterioration or damage, replacing original elements in-kind or with an alternative material that matches the historic material and appearance

#### **Not Recommended:**

- Introducing new or substitute materials where not originally present (such as vinyl or aluminum installed over original siding), or materials that do not match the original in scale, texture, and form (such as stacked stone, shingles, or stucco)
- Applying inappropriate ornamentation such as trim or stringcourses
- Using potentially damaging masonry treatments such as sandblasting, surface grinding, high pressure cleaning, or chemical cleaning
- Applying paint or other coatings to masonry that has been historically unpainted



Prominent glazing, vertical wood cladding, and brick cladding at the end wall and chimney (recommended).



Vertical wood cladding and tall, narrow windows (recommended).



Plywood siding used in combination with glazing (recommended).



Salvaged brick cladding and a window wall (recommended).



Beveled horizontal wood cladding used in combination with glazing and brick veneer (recommended).



## *Roofs, Roof Features, and Roof Materials*

The roof is one of the most important elements of any building or structure. It physically protects the building from the elements and provides visual character. Roof materials, roof form, eaves, gutters, and chimneys contribute to the building's appearance and are important features to retain and preserve. Typical original roof types in the neighborhood (flat, butterfly, shed, gable, or combination) feature a flat or low slope to emphasize the building's horizontality and unity with the landscape. Some flat roofs also include small, centrally-placed flat-roof cupolas for ventilation purposes, or flat skylights that are not prominently visible from the public right-of-way. Rooflines can be either symmetrical or asymmetrical and commonly feature thin eaves. Except for the cubic, flat-roofed houses, most typically feature large overhangs. Original roof cladding materials were typically tar and gravel or asphalt. When present, gutters are minimal in profile. Exterior chimneys are widely seen throughout the neighborhood. These prominent architectural elements are constructed of brick and are usually visible from the street frontage. The variety of roof forms throughout the HOD offer visual interest and some degree of individuality while simultaneously forming a cohesive aesthetic.

### **GUIDELINES**

#### **Recommended:**

- Retaining original flat and/or low-slope roof forms, including the shape, structure, and planar form (gable, butterfly, or shed) and cupola, if original
- If necessary due to deterioration or damage, replacing roofing materials with new materials that are compatible with the historic material, color, and overall appearance. More flexibility in material selection may be granted for flat roofs where the roofing material is not readily visible
- Maintaining elements that emphasize the lightweight construction of the building, including narrow and consistent roof edge profiles, and, where present, overhanging eaves and wood fascia boards
- Where necessary, installing minimalistic, low-profile gutters which hook to downspouts to conduct water away from the building foundation

#### **Not Recommended:**

- Altering the original flat or low-sloped roof shape, form, or roof height
- Removing original chimneys or other historic roof features
- Introducing visually prominent gutters, exposed beam ends, or rafter tails
- Inserting new roof penetrations such as dormer windows, pyramid skylights, or protruding vents
- Using incompatible roof materials or colors on visible roof slopes, such as slate, tile, shake, standing seam metal, or highly variegated asphalt shingles
- Applying aluminum or vinyl fascia that cover the original wood fascia



Low-slope butterfly roof with deep overhanging side eaves (recommended).



Flat roof with low cupola and no overhanging eaves (recommended).



Flat roof with no cupola (recommended).



Low-slope gable roof with wide exterior brick chimney (recommended).



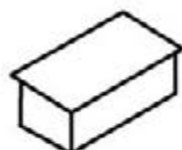
Retention of rooftop cupola for ventilation (recommended).



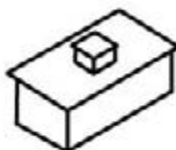
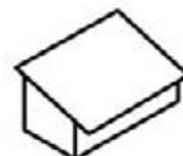
Exterior brick chimney with firebox and adjacent wood box (recommended).



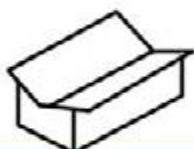
## Recommended



Flat roof

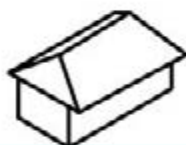
Flat roof  
with cupolaGable roof  
(low slope)

Shed roof

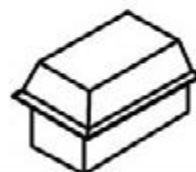


Butterfly roof

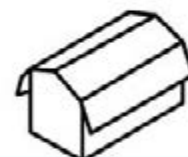
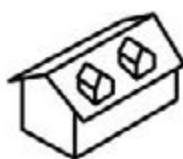
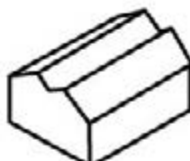
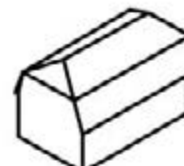
## Not Recommended



Hip roof

Pyramid-  
Hip roofGable roof  
(steep slope)

Mansard roof

Gambrel  
roofRoof with  
DormersM-Shaped  
roofA-frame  
roofJerkinhead  
roof

Recommended and not recommended roof types. EHT Tracerics, Inc.

## Entrances, Porches and Decks

Entrances are key character-defining features of a building due to their visibility and prominent placement. Due to the angled siting of many homes in Hollin Hills which blurs the distinction between primary and secondary elevations, entrances can be located at either the façade or side elevations. Due to the sloping sites, entrances are also on the ground level and first floor with stair access.

Most original entry doors in Hollin Hills are single-panel flush wood doors, some flanked by single or double sidelights, or topped with a transom. It is also quite common for entry doors to have wood- or steel-frame fully-glazed doors.

Entry doors are often accessed via a deck or porch. Porches have roofs whereas decks are open-air. Some porches in Hollin Hills are more like recessed entry vestibules, incorporated within the building's main roof form. Goodman and Davenport understood porches and decks to be an extension of the home itself, providing invaluable outdoor living space. Many homes feature large window walls and sliding doors to access decks, serving to bring the outdoors in. A number of original porches have since been enclosed as interior living space. For an extended discussion of porches and decks, please see ***"Guidelines for Preserving Setting: Landscape, Streetscape, and Archaeology Guidelines"*** on page 77.

### GUIDELINES

#### **Recommended:**

- Retaining original entry doors, porches, and decks
- Replacing doors that cannot be repaired with in-kind or compatible doors that fit within the existing opening
- Replacing porches or decks that cannot be repaired with new structures that match the general appearance of the original feature. In some cases, alternative materials such as composite wood may be acceptable
- Incorporating new decks on secondary or less-visible elevations

#### **Not Recommended:**

- Removing original entry door openings, doors, porches, or decks
- Altering the size, proportion, materiality, or location of doors, porches, or decks in a way that alters the modernist appearance of the house
- Replacing doors with incompatible multi-panel or divided-light doors, or adding prominent trim around a door opening





Primary entrance (flush wood door) with sidelights and a transom (recommended).



Primary entrance (fully glazed door), recessed beneath entry porch (recommended).



Sliding glass door at ground level of façade, with deck and entry at side elevation (recommended).



Ground level recessed primary entrance vestibule and minimally visible side deck (recommended).



Primary entrance accessed via front deck (recommended).



Sliding glass doors that open to rear deck (recommended).

## Windows, Window Features, and Glazing Materials

Windows are one of a building's most important character-defining features. Their placement, configuration, materiality, and detailing play a major part in defining the style, scale and character of any building. Homes in Hollin Hills feature particularly innovative and distinct windows which often take the form of large expanses of glass designed to bring the outside in. These "window walls" feature floor-to-ceiling window units that span large portions of an elevation, or even the entire length of an elevation. Windows range from fixed, casement, awning, or clerestory, and typically feature thin, narrow, unobtrusive frames of steel or wood. Often full-height windows will consist of a large fixed light atop a lower fixed or operable light. Windows in Hollin Hills are entirely free of traditional ornamentation, such as bulky trim or muntins. Window glazing in Hollin Hills was originally non-tempered, single-pane glass. Maintenance and repair of original windows should always be a first course of action, followed by retrofitting windows for better energy efficiency (see "Sustainability" on page 64).

### GUIDELINES

#### **Recommended:**

- Retaining and repairing original window openings, sashes, features, and materials
- If necessary, replacing deteriorated or damaged windows with new windows that match the visual characteristics of the original window, including configuration, operability, dimension, profile, and material (where feasible)
- Improving energy efficiency by installing weather-stripping, removable interior storm windows, or applying high-quality non-reflective window films (see "***Sustainability***" on page 56)
- Replacing non-original windows with new windows that match the historic appearance as seen elsewhere in the HOD

#### **Not Recommended:**

- Inserting new window penetrations at primary or highly visible elevations
- Removing (infilling) or altering original window openings on primary or highly visible elevations
- Introducing non-original materials, such as vinyl windows (though alternative materials may be acceptable for high-moisture areas, such as bathrooms)
- Changing the design or operability of the original window such as dividing a large glazed opening into smaller units
- Installing a window type not seen elsewhere in the HOD such as arched, bay, garden, or multi-light window
- Replacing clear glass with non-clear heavily tinted or highly reflective glass (low emissivity coating is acceptable due to minimal tint)
- Adding thick window frames, shutters, exterior blinds, or non-original window features





Ground and first-story window walls (recommended).



Ground and first-story window walls (recommended).



Primary entry door flanked by sidelights and topped with a transom (recommended).



Full-height windows forming the building corner (recommended).



Windows and plywood cladding (recommended).



Full-height glazing (recommended).

## Details and Ornamentation

Details and ornamentation are often main identifiers of a building's style. For Midcentury Modern architecture, it is the relative absence of decorative elements that makes the style so distinctive.

### GUIDELINES

#### **Recommended:**

- Retaining original perforated brick privacy screens (generally detached from the building envelope but associated more with the building than the landscape)
- Retaining original cupolas (which are utilitarian in purpose rather than decorative)
- Maintaining the general absence of ornamentation

#### **Not Recommended:**

- Removing original features such as cupolas or perforated brick screens
- Adding non-original details that contrast with the modernist aesthetic of the HOD, such as columns, pilasters, or a roofline cornice



Perforated brick privacy screen and original cupola (recommended).



Diamond-shaped brick detailing on site wall (recommended).



## *Mechanical Systems and Plumbing*

The original systems in Hollin Hills houses were typical of modern architecture and included centralized clusters of electrical and plumbing systems, natural ventilation, and radiant floor heating pipes embedded into the concrete floor slab. Utilities, such as the water heater, were typically clustered in the middle of the home, adjacent to the kitchen and bath. This “utility core” separated public and private spaces of the home. Many of the homes have since been adapted to include mechanical heating and cooling. When installing new systems, equipment should be placed and designed in a manner that limits modification to the building exterior. Incompatible design of systems (impacting the walls, fenestration, or roof form) have the potential to adversely effect the modernist aesthetic of the HOD.

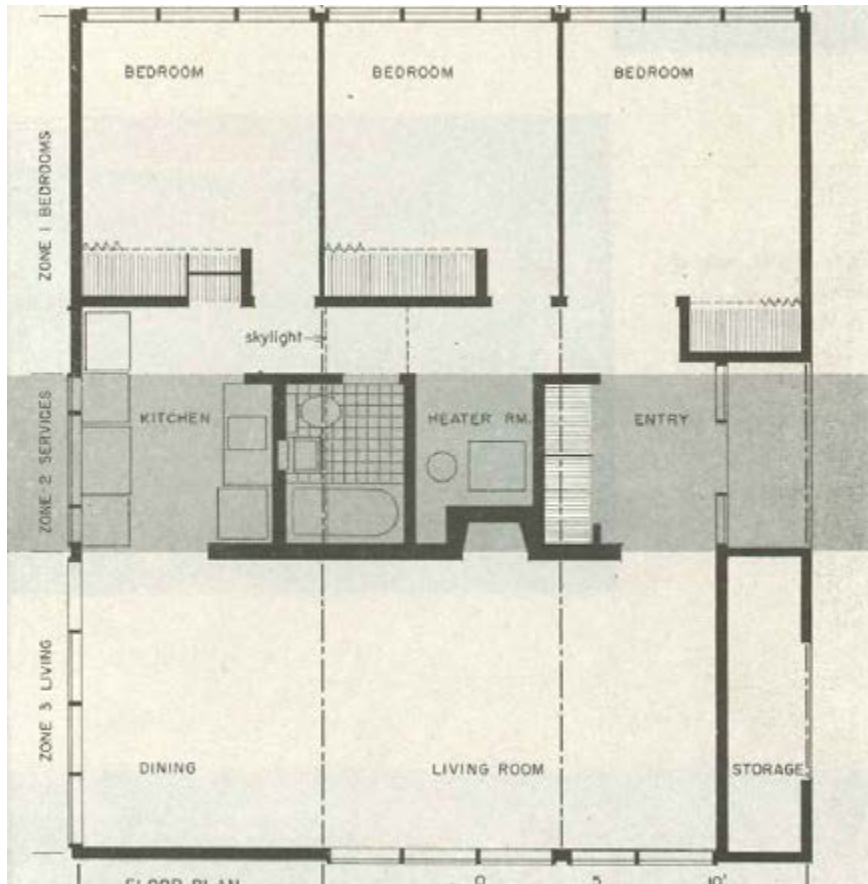
### **GUIDELINES**

#### **Recommended:**

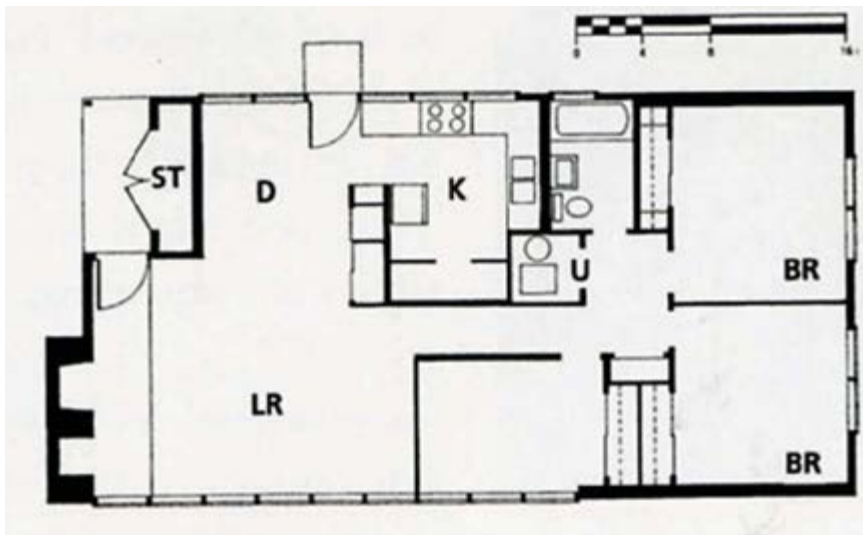
- Repairing aging systems (radiant floor heating, plumbing, or electrical) “in place” where possible, limiting demolition or significant invasive disturbance of the original building structure
- Replacing or installing new exterior equipment at ground level to the rear or side of the building, obscured from view with appropriate screening
- Installing new roof-mounted mechanical equipment on flat roofs in a setback location to avoid visibility from the street

#### **Not Recommended:**

- Placing new exterior equipment in a highly visible location
- Mounting rooftop equipment, such as satellite dishes, antennae, chillers, ductwork, conduit, piping, etc., in highly visible, prominent locations (unless alternatives do not exist)



House plan by Charles Goodman, showing the “heater room” in the central utility core. *House and Home* (January 1954), p.140.



Floor plan of Unit No.2 (c. 1960) with the “U” or utility core at the center of the house. *Hollin Hills, A Community of Vision* (2002), p.50.



## Garages, Carports, and Non-Attached Structures

Although Goodman and Davenport were keenly aware that most families in Hollin Hills would require a vehicle for daily use, they chose not to include garages in their first building phase, as they were viewed as intrusive to the landscape. However, covenants did allow property owners to construct two-car garages, and several have been added over the decades with varying success in terms of architectural compatibility. Shed structures have also been added over the years, many of which appear compatible in style (for more on garages, carports and sheds, see ***“Guidelines for Architectural Compatibility and Neighborhood Cohesion: New Construction and New Additions”*** on page 65). Carports were offered in the original building phase but were considered an add-on expense. Open carports provided shelter for the automobile, while not entirely disturbing the landscape. They were generally constructed of wood, featured flat or low-sloped shed roof forms, and were largely open-air. Breezeways and attached carports are common in the neighborhood and are generally viewed as complementary features that reflect the vehicular-dependent lifestyle of Hollin Hills residents. Today, carports are required by code to be attached to the residence.

### GUIDELINES

#### **Recommended:**

- Retaining existing carports, breezeways and sheds that maintain a light and open character
- If necessary due to deterioration or damage, replace garage or carport features in a manner that matches the historic material and appearance

#### **Not Recommended:**

- Constructing new garages that are not compatible with the modernist aesthetic or overwhelm the existing house or site
- Enclosing a carport or breezeway structure (unless necessary to provide additional living space, and carried out in a manner that complements the modern style of the house)
- Adding sheds that are large in size and do not complement the modernist identity of the neighborhood

## Adaptation

Instances requiring adaptation of Hollin Hills' midcentury-era homes need not conflict with the preservation practices. Health, safety, accessibility, and sustainability concerns are all justifiable reasons to modify a building, and alterations that follow the *Secretary of the Interior's Standards* are encouraged.

### *Health, Safety and Accessibility*

Many historic buildings were constructed with materials now understood to be hazardous, such as lead paint. Many were not designed to be readily accessible for people with disabilities. It is understood that modifications to historic buildings may be necessary to meet the needs of current residents. Work that meets the standards set by the Americans with Disabilities Act (ADA) will be approved by the ARB. County staff is available to discuss ways in which necessary health and safety modifications can be implemented in a manner that is compatible with the existing houses and the HOD. Design discussions with staff are encouraged. Whenever possible, health, safety and accessibility modifications should aim to preserve character-defining features while simultaneously providing the required level of accessibility and safety.

### GUIDELINES

#### **Recommended:**

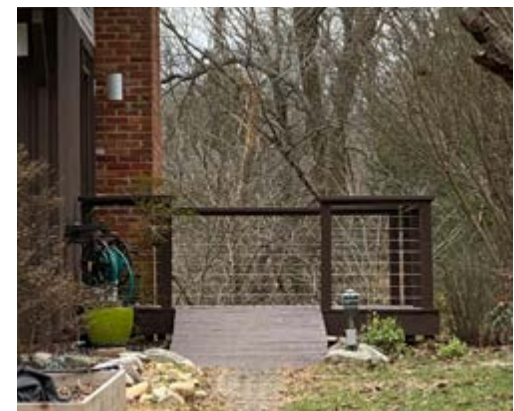
- Installing ADA-compliant ramps that are simple in design and maintain character-defining features and materials to the greatest extent possible
- If necessary due to steep terrain or steps, installing a lift or elevator of compact size
- Implementing accessibility modifications of appropriate scale that are visually compatible with the modernist aesthetic
- If possible or desired, implementing modifications on secondary or less visible elevations rather than the building façade
- If a new door is necessary, consider utilizing the location of an existing door or modifying an existing window opening rather than creating a new opening

#### **Not Recommended:**

- Implementing changes that cause irreversible damage to character-defining features in instances where alternatives exist that satisfy both health/safety/ADA standards and preservation standards
- Re-grading (leveling) of land to accommodate new ramps, etc.



Ramp structure with wood and cable railing (recommended).



Ramp structure to deck (recommended).



## *Sustainability*

Homes in Hollin Hills were generally constructed with minimal or no insulation, no attic spaces, and large expanses of single-pane windows and may not meet today's energy efficiency standards. Projects to improve sustainability or efficiency should take a holistic and comprehensive approach. The preservation and rehabilitation of an existing building means saving the embodied energy used in the manufacturing of its materials and the labor of its construction. Sustainability upgrades should update existing features and systems while limiting impacts on the historic character of the building and the HOD. Based on Goodman and Davenport's interest in sustainable design and low environmental impact, they likely would have embraced the use of many of the new technologies available today.

Note that while ARB review will only apply to the building exterior, the following information also deals with the interior, since many adaptation strategies involve interior spaces. Additionally, note that much of this guidance would also apply to New Construction and Additions, to be discussed in the following section.

## **GUIDELINES**

### **Recommended:**

- Completing an energy audit to evaluate thermal performance and identify deficiencies in the building's envelope and in its systems; explore heating and cooling systems upgrades that improve energy performance
- Installing removable interior storm windows at single-glazed window openings
- Installing low-profile solar (photovoltaic) panels; solar shingles; a green roof; or cool roof products on flat roofs, non-visible elevations, or in a non-obtrusive manner
  - Take efforts to minimize the visual presence of solar panels, solar shingles, solar modules, mechanical and electrical connections, and mountings wherever possible
  - Use solar products and mounting systems that compliment historic roof materials
  - If possible, consider placing solar products on an existing non-historic addition, or on a garage, carport or shed structure

### **Not Recommended:**

- Installing solar panels and associated equipment in a manner that severely interrupts the original roof form as viewed from the street or that rises substantially higher than the existing roof
- Replacing window glazing, sashes and/or frames with heavily tinted glazing or vinyl frames
- Removing roofing structure, materials, or features to accommodate new systems

## GUIDELINES FOR ARCHITECTURAL COMPATIBILITY AND NEIGHBORHOOD COHESION: NEW CONSTRUCTION AND NEW ADDITIONS

This section provides guidelines related to the design and construction of new buildings and new additions within the HOD. New additions are often necessary to increase living space and square footage. There are many examples of compatible additions within the HOD; however, the design of new additions, particularly vertical additions, can dramatically alter the appearance of a historic building and the HOD. Successful additions provide for additional living space while also complementing the existing neighborhood character. Opportunities for new construction are rare, as all lots are developed; however, unforeseen circumstances, such as fire or flood, could necessitate new construction within the HOD.

Additions and new construction should be thoughtfully designed to be compatible with the existing building in terms of scale, material selection, and design. Guidance outlined in the *Secretary of the Interior's Standards* directs that additions should be compatible yet differentiated from the original building, to avoid being mistaken as part of the original architecture. It is important to note that differentiation does not mean inharmonious. Ultimately, new construction and new additions should take cues from the neighborhood's Midcentury Modern architecture and should complement the historic character of the HOD's existing residences.

The following guidelines are intended to help project applicants design compatible new construction and additions.

### **Project Review and Permit Requirements:**

The following types of projects require a permit and review by the ARB:

- Partial or total demolition
- New construction or additions
- Major exterior alterations
- Porches and decks (including alterations to existing)
- Retaining walls, stairs, and stoops

For a complete list of projects that require a building permit and thus review by the ARB visit: <https://www.fairfaxcounty.gov/landdevelopment/when-permit-required>



## Site Design (New Construction and Additions)

Goodman's original house designs were purposefully tailored to the rise and fall of the land, with buildings set back from the street and often sited at an angle. New construction and additions should embrace the visual clues of the building siting and placement in the landscape to reflect the individual property conditions of each site.

For the purposes of these guidelines, site design includes the physical placement and positioning of the building or addition and its visual impact. In regard to building siting of new construction and additions, it is important to follow the historic precedent throughout the neighborhood, where homes are consistently set back from the street, often at an angle, in order to provide privacy and visual interest. For guidelines focused on site and landscape features (parking, outbuildings, plantings, and fences), please see ***"Guidelines for Preserving Setting: Landscape, Streetscape, and Archaeology Guidelines"*** on page 77.

### GUIDELINES:

#### **Recommended:**

- Designing new additions that result in the least possible loss of historic materials so that character-defining features are not obscured, damaged, or destroyed
- Siting new construction and additions in a way that maintains spatial relationships to the street, the original house, the lot, and the neighboring houses
- Designing new construction and additions to be set back from the street (possibly at an angle), aligned with neighboring frontages, and sited with respect to site-specific long views, shared views, and privacy; buildings oriented to the street and not sited at an angle may be more appropriate at the ends of cul-de-sacs
- Determining appropriate building size and scale based on lot character and surroundings, which often (but not always) means one-story homes on flat lots, and split- or two-story homes on steeper lots

#### **Not Recommended:**

- Designing new additions that obscure, damage, or destroy character-defining features; contrast with the character of the historic building; require significant grading of land; or impose upon neighboring buildings or the streetscape

## Size, Scale, and Massing

The size of a building reflects its height, width and square footage. The scale of a building describes the comparative size of a building relative to a neighboring building or in relation to a human. In Hollin Hills, buildings are of similar size (one or two-stories) to neighboring houses and have a “human” or residential scale. There are no high or mid-rise buildings in the neighborhood. The term massing refers to a building’s three-dimensional geometric composition or visual “bulk,” and is highly influenced by how the building is situated on its site. In Hollin Hills, low, horizontal building massing provides the appearance of boxes that sit lightly upon the landscape. Simple cubic and geometric forms allow the structural skeleton of the buildings to be exposed. Split-level homes in the neighborhood feature an upper level that is slightly cantilevered over the lower level.

### GUIDELINES

#### Recommended:

- Designing new one-story, two-story, or split-level houses that are small in size and scale, in keeping size of homes in the HOD
- Using the massing of neighboring buildings as a guiding principle for height and width
- Designing new additions that are modest, subordinate, and deferential in character to the original building, ideally set back from the primary plane with a roofline that does not rise above the existing building height
- Where appropriate, incorporating a simple, recessed, small-scale hyphen (connection) to physically and visually separate the addition from the historic building
- Considering one-story additions before pursuing second-story additions, which may impact the roof form and low, horizontal massing of the original building
- Designing new construction and additions that are respectful to neighbors in terms of shared views, privacy, and access to sunlight
- Utilizing square, rectilinear, and L-shaped building footprints and simple, horizontally oriented forms with clean orthogonal or angular lines



Aerial image of a house with a large two-story addition to the side elevation connected to the original building volume by a one-story hyphen (recommended) (Google Earth, 2018).



**Not Recommended:**

- Building unsympathetic new construction or additions that:
  - Visually and/or physically dominate the lot or the original building
  - Appear historicist (appearing to date to an earlier era)
  - Are out of scale with neighboring buildings
  - Require leveling of land or tree removal
  - Feature irregular, non-linear building footprints and/or complex massing with façade projections



Aerial image of a house with a rear addition that is set back from the side elevations which often helps reduce visibility and differentiate an addition from the original volume (recommended) (Google Earth, 2018).

## Proportion and Symmetry

Proportion and symmetry are closely related architectural principles that should be considered in the design of new construction or additions. Proportion is the relationship of one architectural dimension to another, such as the height-to-width ratio of a building or a window, or the size of a window opening in comparison to the façade size. In Hollin Hills, it is appropriate to repeat proportions of an entire façade in the proportions of the doors and windows. Hollin Hills homes reflect a departure from the formality and symmetry of then-popular Colonial Revival architecture, instead embracing an organic, asymmetrical aesthetic inspired by the natural surroundings. Asymmetry can be seen in the lot patterns and siting of buildings, but also within individual building elevations.

### GUIDELINES

#### **Recommended:**

- Ensuring appropriate height-to-width ratios and proportionate fenestration openings
- Placing doors in a centered or off-centered location, counter balanced with sufficient visual weight (i.e. windows) opposite the door

#### **Not Recommended:**

- Designing disproportionately tall or wide buildings or fenestration openings
- Pursuing formal, symmetrical designs more commonly seen in the Colonial Revival style and not compatible with the midcentury modern character of Hollin Hills



A side addition with asymmetrical and compatible fenestration (recommended).



Side addition that is proportional to the original house (recommended).



## Building Elements and Features

The following building elements and features have been previously defined and illustrated within the “Guidelines for Preserving Architectural Character: Preservation and Rehabilitation of Existing Buildings.” Please refer to those guidelines for definitions, neighborhood context, and additional photographs of foundations; walls and exterior cladding; roofs; entrances, porches, decks; windows; details and ornamentation; mechanical systems and plumbing; and garages, carports, and sheds. Applicable guidelines that are specific to new construction and additions have been provided below.

### *Foundations*

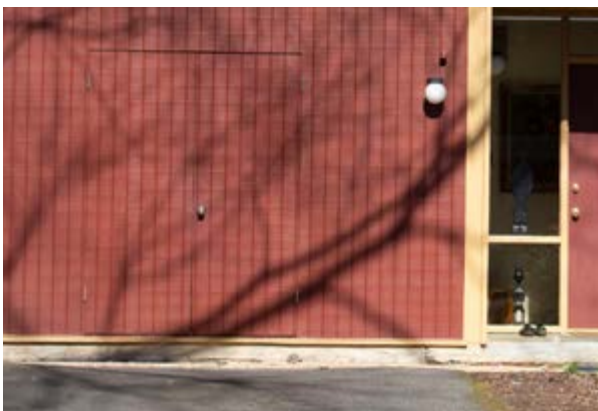
#### **GUIDELINES:**

##### **Recommended:**

- Cladding exposed low-profile foundation walls in concrete or brick

##### **Not Recommended:**

- Using inappropriate materials such as stone or wood at exposed above-grade foundation walls
- Designing highly visible above-grade foundations that contrast or compete with the walls above



Concrete slab foundation (recommended).



Horizontal wood cladding used as foundation veneer (not recommended).

## Walls and Exterior Cladding

### GUIDELINES:

#### **Recommended:**

- Using typical wall cladding materials seen throughout the HOD with uncomplicated visual and textural qualities, such as:
  - Vertical, 1" x 4" tongue-and-groove wood
  - T-111 vertical 4" or 6" grooved plywood or smooth plywood siding
  - Horizontal beveled wood siding
  - Brick masonry
  - Oversized and rectangular exterior brick chimneys
  - Large expanses of windows
- Limiting the number of different cladding materials used for a single building

#### **Not Recommended:**

- Using synthetic cladding materials, such as vinyl or aluminum
- Selecting highly textured materials of complicated visual character that are inconsistent with the materials found in the HOD, such as stacked stone, shingles, stucco, or corrugated metal
- Adding inappropriate wall ornamentation such as pilasters or string courses



Horizontal beveled wood siding (recommended).



Vertical wood siding (T-111) and glazing (recommended).



Used brick siding and chimneys (recommended).



Smooth plywood (recommended).



## Roofs, Roof Features, and Roof Materials

### GUIDELINES:

#### **Recommended:**

- Incorporating roof types, slopes, materials, textures, and features consistent with existing examples in the neighborhood
- Designing additions or new construction with flat or low-sloped roof forms (butterfly, shed, gable) or combination roofs such as a flat roof paired with a shed roof
- Including overhanging eaves and wood fascia boards on sloped roofs; no overhanging eaves on flat roofs
- Installing low-profile gutters that form a visual extension of the roof edge
- Selecting roofing materials and colors that are compatible with the historic character of the HOD. Compatible roofing materials may include but are not limited to: built-up roofing; minimally textured, single-layer composite shingles; or single-ply membranes

#### **Not Recommended:**

- Utilizing complex or steeply pitched roof forms
- Removing an original chimney to accommodate a new addition
- Introducing exposed rafter tails or applying aluminum or vinyl fascia
- Inserting highly visible roof penetrations such as dormer windows or pyramid skylights
- Cladding a visible roof slope with incompatible materials such as slate, tile, shake, highly variegated shingles, or rolled roofing materials with seams that create visual horizontal bands



Detail of a low-profile gutter (recommended).



Early addition with a shed roof form (recommended).



New construction with flat roof forms (recommended).

## Entrances, Porches and Decks

### GUIDELINES:

#### **Recommended:**

- Selecting single-panel wood doors or fully-glazed wood-frame entry doors, with transoms and vertical sidelights (single or double)
- Incorporating glazed sliding doors at secondary or rear elevations
- Constructing porches or decks of wood materiality that appear as an extension of the home itself. In some cases composite materials that adequately mimic the appearance of wood may be acceptable

#### **Not Recommended:**

- Selecting entry doors with decorative panels, fan/arched lights, or divided-light panels or transoms
- Adding prominent trim or ornamentation around a door opening
- Constructing entry vestibules or porches with a separate roof form from the main building
- Constructing decks with thick railings that obscure views



A screened-in porch completed in a compatible manner (recommended).



A screened-in porch set under a modest extension of the flat roof form (recommended).



Porch and open-air atrium (recommended).



New deck with wood and cable railings (recommended).



## *Windows, Window Features, and Glazing Materials*

### **GUIDELINES:**

#### **Recommended:**

- Designing new construction or additions with windows that follow the placement, proportion, alignment, configuration, materiality, size, and detailing of historic examples throughout the neighborhood
- Using primarily wood or aluminum windows, based on original material condition, or selecting alternative materials for windows that match the appearance and profile of historic windows in the HOD such as aluminum or aluminum-clad wood
- Using modernist window profiles with narrow frames
- Designing new construction or additions with a balanced ratio of solid surfaces and openings (solid-to-void ratio)

#### **Not Recommended:**

- Introducing fenestration proportions, patterns, or types without precedent in the HOD, such as arched, porthole, garden, bay, or divided-light windows
- Using vinyl or other materials that are unable to replicate historic profiles and appearances of windows in the HOD
- Adding decorative or bulky trim, frames, or muntins
- Using highly reflective or tinted glass
- Adding shutters, exterior blinds, or awnings

## *Details and Ornamentation*

### **GUIDELINES:**

#### **Recommended:**

- Designing uncluttered, un-ornamented planar surfaces
- Selecting simple, modern exterior hardware and lighting

#### **Not Recommended:**

- Adding complex details such as brackets, columns, cornices, or moldings
- Incorporating historicist features from Colonial Revival, Georgian Revival, or Mediterranean Revival styles

## *Mechanical Systems and Plumbing*

### **GUIDELINES:**

#### **Recommended:**

- Selecting systems that do not require rooftop equipment, and can be installed at ground level to the rear or side of the building
- If necessary, mounting rooftop equipment in a setback location away from the edge of the roof to minimize visibility from the street

#### **Not Recommended:**

- Placing new systems in conspicuous locations highly visible from the street or neighboring properties (for example, highly visible satellite dishes, antenna, chillers, ductwork, conduit, piping, etc.)

## *Garages, Carports, and Shed Structures*

As discussed on page 62, most houses in Hollin Hills do not have garages. Although covenants did permit property owners to erect two-car garages on their property, they were not a standard feature included in Goodman and Davenport's house plan sets. Goodman sometimes designed carports, but these structures were considered supplementary to the unit-type designs and were an additional cost. As a result, carports were not always constructed immediately upon purchase of the lot and house plan. However, it became common practice throughout the neighborhood to add a carport later on, to provide shelter for the automobile while not fully interrupting the landscape in the way an enclosed garage can. In some cases, carports were later enclosed to increase the livable square footage of a home. Sheds and storage vestibules (attached or detached) have also been added over the years. When designed in a subtle and compatible manner, these features can be a welcome addition to the HOD.

### **GUIDELINES:**

#### **Recommended:**

- Incorporating new structures that complement the modernist aesthetic of the house, site, and surroundings - achieved via compatible massing, materials, and details
- Designing modestly-sized carports that are light and open in character, ideally included within the home's primary roof form (such as an extended flat roof form) or feature a smooth transition between roof forms
- If necessary, construct freestanding sheds or incorporate small enclosed storage vestibules as part of the carport or attached to a rear elevation



**Not Recommended:**

- Constructing attached or detached garages, carports, or sheds that overwhelm the main building or visually interrupt the landscape



A contemporary yet compatible carport (recommended).



An attached, recessed carport (recommended).



Carport that is light and airy in character, with an enclosed storage vestibule (recommended).



Detached shed that is small in scale and is compatible with the original house (recommended).

## GUIDELINES FOR PRESERVING SETTING: LANDSCAPE, STREETScape, AND ARCHAEOLOGY GUIDELINES

Landscape and streetscape are inclusive of woodlands, water courses, designed residential landscapes, circulation and street patterns, shared public spaces, and the relationship between buildings and their surroundings - all of which strongly contribute to the setting and distinct character of Hollin Hills. The streets, sidewalks, and parks are maintained by Fairfax County and the Civic Association of Hollin Hills. Property landscaping, fences and screens, driveways and parking pads, and other site considerations also contribute to the landscape and streetscape of the HOD. The following guidelines provide guidance for preserving landscape and streetscape, and also how to appropriately approach any archaeological resources within the HOD.

### Site Design (Landscape)

Site design provides the context for how each individual property interacts with the surrounding built and natural landscape. Compelling site design is a defining characteristic that sets Hollin Hills apart from surrounding contemporary residential developments. Lots and landscapes are thoughtfully planned to respond to and complement the varied natural topography and vegetation; landscape designs are tailored to individual property conditions. Care is taken to minimally disrupt the landscape. Site relationships between the house and the street, neighboring buildings, and woodlands are considered in order to preserve views and vistas. Goodman, Davenport, and their team of master landscape architects made every design decision with the landscape in mind, and as a result, site design is one of Hollin Hill's most important defining characteristics.

### GUIDELINES:

#### **Recommended:**

- Maintaining neighborhood network of vistas and viewsheds
- Retaining original patios, retaining walls, or planting beds
- Designing pathways or walkways with a minimal, understated profile (low to the ground and constructed of gravel, pebble, stone, wood or concrete)
- Protecting the existing free-flowing spaces and semi-cleared woodland character
- Ensuring that grading and drainage systems cause minimal impact to landscape and views
- Installing minimal privacy screens or dense hedges in select areas to provide visual privacy
- Installing minimal outdoor lighting that doesn't impinge on the historic character of the HOD. New lighting should minimize skyglow, glare, and light trespass, per the Outdoor Lighting Standards found on the County's Zoning Administration Division website [here](#)



Dense, informal landscaping suitable for steep site (recommended).



Angled siting of house with natural driveway barrier (recommended).



Natural wood steps that blend with the landscape (recommended).

### **Not Recommended:**

- Disturbing the natural landscape (removal of mature trees, leveling of land, etc.)
- Adding patios or gazebos that diminish the primacy and scale of the house
- Constructing retaining walls that visually overwhelm or obscure the landscape
- Placing mechanical equipment and utilities in highly visible locations
- Reinforcing property lines through fencing or plantings
- Introducing exterior lighting of high lumen emittance or that does not comply with the County's Outdoor Lighting Standards



## Privacy Fencing and Screening

Fences and privacy screens were introduced on a limited basis during the original development of Hollin Hills. Davenport and Goodman recognized the need for privacy and took care to site and design homes in a way that would not make fencing necessary. However, fences and privacy screens were installed early on in the development of the neighborhood, and many more have been added since. Less successful fences and screening disrupt the natural landscape and reinforce lot lines were never intended to be visibly distinguished. The original developers, landscape architects, and past and current residents have all placed great importance on a shared sense of community and undisturbed views and vistas. As a result, fences and screens are largely discouraged.

### GUIDELINES:

#### **Recommended:**

- Maintaining open landscaping surrounding the house
- Using shrubbery or low vegetation in place of fencing
- If necessary, installing fences or privacy screens that:
  - Span short distances
  - Remain low in height and do not obscure the building
  - Are modern and minimalistic in appearance
  - Constructed of either brick or wood, or have wood or metal posts with a welded-wire grid
  - Include ground shrubbery to minimize appearance
  - Are placed near the building rather than along the property perimeter

#### **Not Recommended:**

- Installing tall or visibly impenetrable border fences that disrupt visibility of the house, reinforce property lines, or extend parallel to the street frontage
- Using materials such as chain link, split rail, or chicken wire
- Planting bamboo, hedges, or other plantings that fully block visibility of the house as well as shared vistas and viewsheds



Wood and welded wire side yard fence that blends with the landscape (recommended).



Low parking pad wall (recommended).



Low, short, wood privacy screen (recommended).



Perforated brick privacy screen (recommended).



Low, short, wood privacy screen (recommended).



A contemporary yet compatible metal privacy screen that is transparent in character (recommended).

## Driveways and Parking Pads

Robert Goodman was aware that most, if not all, families in Hollin Hills would rely on automobiles as their primary means of transport. However, he did not include driveways and garages in the early phase of Hollin Hill's development, due to their visually intrusive character and imposition on the landscape. The parking pad was the preferred solution, typically located street-side. As the construction of carports (and in some cases, garages) became more common, driveways were required to access carports. Gravel was a common material for both parking pads and driveways, as it blended with the natural surroundings more successfully than asphalt or concrete.

### GUIDELINES:

#### **Recommended:**

- Incorporating street-side parking pads or driveways with generally straight, geometric lines
- Using the paving material best suited to site-specific topography and soil limitations:
  - Pea gravel or permeable pavers that minimize the visual impact on the overall landscape (most appropriate for flat sites)
  - Concrete or asphalt if deemed necessary due to soil erosion issues (hilly sites)

#### **Not Recommended:**

- Introducing new or expanded oversized driveways or parking pads that encroach upon the landscape or overshadow the house itself



Gravel driveway with wood border (recommended).



Narrow, meandering walkway to primary entrance (recommended).



Parking pad well incorporated into hilly site (recommended).



## Landscape Design

Hollin Hills is well known for its natural, woodland setting. While much of this is provided by the protected forested lands, designated parks and nature preserve, it is also due to the landscaping of individual properties. Properties typically feature naturalistic landscapes with low ground-cover and specimen trees. Landscaping in Hollin Hills complements the horizontal, angular, and simplistic features of the homes themselves.

### **GUIDELINES:**

#### **Recommended:**

- Including an abundance of diverse plant materials (mature and specimen trees, mid-size plantings, shrubbery, ground cover) arranged in organic, non-formal planting patterns
- Prioritizing “open” landscape design that respects the wooded, rolling topography of the district
- Using sculptural rocks and/or pebble ground-cover around the house perimeter

#### **Not Recommended:**

- Removing original landscaping and mature trees, unless dead or diseased
- Planting dense or tall vegetation that disrupts the view from the street, blocks neighborhood views and vistas, or clutters the landscape
- Introducing formal landscaping plans with geometric patterns
- Altering site grading from its original plane; introducing berms

## Archaeological Resources

As discussed in Section 3101.6(F) of the Fairfax County Zoning Ordinance, to further the purpose of the HOD and to aid in the identification and protection of historic or archaeological resources within the HOD, Fairfax County Park Authority archaeologists must be consulted when a project involves 2,500 square feet or more of land disturbing activity.

When planning for a project that involves land disturbing activity as part of a rezoning, development plan, special exception, special permit, or variance application, or if you think you may have archaeological resources or remnants of a previous structure on your property, please contact the Fairfax County Park Authority before you continue with your project. The Archaeological and Collections Branch can be reached at 703-324-8586, TTY 711 or [parkmail@fairfaxcounty.gov](mailto:parkmail@fairfaxcounty.gov).



Assorted images of recommended landscaping, reflecting informal designs and diverse plantings (recommended).







# 05

## Appendix

## APPENDIX A – GLOSSARY OF TERMS AND ACRONYMS

Note: The definitions included within this glossary are for purposes of the Design Guidelines only and are not official definitions for purposes of zoning.

**Addition:** A volume built onto (and internally connected to) an existing building volume.

**ARB:** Architectural Review Board (Fairfax County).

**Awning window:** A top-hinged window that swings the bottom edge outward; designed to admit air while excluding rain.

**Bay window:** A window that extends beyond the plane of the surrounding façade.

**Beveled siding:** A cladding material consisting of narrow wood boards applied horizontally, with the lower edge of each board overlapping the board below.

**Breezeway:** A roofed outdoor passage, as between a house and carport.

**Carport:** A covered structure that offers limited protection to vehicles from rain and snow. Carports usually only have one or two walls.

**Casement window:** A window attached to its frame by one of more side hinges on the jamb (vertical side member).

**Clerestory window:** A window above eye level (usually at or near the ceiling or roof line) designed to admit light, fresh air, or both.

**Concrete Block/CMU:** Concrete masonry unit, commonly used for foundations.

**Deck:** A flat, roofless platform adjoining a house, either very slightly or substantially elevated from the ground.

**DRC:** The Design Review Committee of the Civic Association of Hollin Hills. Note that the DRC Design Guidelines, while similar in content to these Fairfax County Hollin Hills HOD Design Guidelines, are separate guidelines used for an independent neighborhood review process.

**Eave:** The lower edge of a roof slope that intersects with and overhangs the exterior wall.

**Elevation:** A synonym for façade, though used to reference secondary (side and rear) façades.

**Façade:** The primary exterior wall of a building.

**False historicism:** Changes that create a false sense of historical development, (such as adding conjectural features or architectural elements from other historic buildings), confusing the

sense of what is original to the building

**Fenestration:** The physical arrangement of doors and windows on the elevations of a building.

**Fixed window:** A window that does not move or open.

**Gable:** The generally triangular portion of a wall between the edges of intersecting roof slopes.

**GIS:** Graphic information system.

**HOD:** Historic Overlay District.

**Hipped roof:** A roof form where all sides slope between the roof ridge and eaves (no gables).

**Historic precedent:** An earlier occurrence of something similar. In Hollin Hills, this is referring to architectural elements that date to the neighborhood's original development phases.

**Historicist architecture:** Architecture that is heavily influenced by past movements, sometimes freely interpreted.

**Infill:** New construction located within an existing setting.

**In-Kind:** A preferred preservation practice where historic building materials or elements are replaced using the same material type, design, dimension, texture, detailing, and appearance.

**Landscape:** The physical and aesthetic setting of a place, including natural and man-made features, spatial relationships, views, and circulation routes.

**Light:** A piece of glass located within a window.

**Massing:** The distribution of a building's volume through space; the perception of the general shape, form, and size of a building.

**NPS:** National Park Service.

**NRHP:** National Register of Historic Places. The NRHP is the nation's most comprehensive inventory of historic resources; it is administered by the National Park Service and includes buildings, structures, sites, objects, and districts that possess historic, architectural, engineering, archaeological, or cultural significance at the national, state, or local level.

**Opening window:** Refers to windows of operable configuration (rather than fixed), such as casement, awning, or hopper windows.

**Patio:** A paved outdoor area adjoining a house, typically of concrete, stone, brick, or tile materiality.



**Perforated brick:** In Hollin Hills, there are a handful of examples of perforated brick privacy screens. These screens take the form of exterior, detached, brick walls with small openings arranged in a regular, geometric pattern.

**Porch:** A covered, partially enclosed (or screened), sheltered space adjoining an entrance to a building.

**Post and beam construction:** A type of timber construction in which vertical posts and horizontal beams create a framework that carries both the floor and roof loads.

**Public right-of-Way:** Any public street, sidewalk, etc. adjacent to private property.

**Rabbet:** A rabbet is a recess or groove cut into the edge of a piece of machinable material, usually wood. An example of the use of a rabbet is in a glazing bar where it makes provision for the insertion of the pane of glass and putty.

**SOI Standards:** *Secretary of the Interior's Standards for the Treatment of Historic Properties* (36 CFR 67).

**Variegated:** Exhibiting different colors, especially as irregular patches or streaks.

**Viewshed:** The view of an area from a specific vantage point, including all surrounding points in the line-of-sight of that location. Conversely, it can also refer to an area from which an object can be seen.

**Window opening:** Refers to the framed opening of a window within the wall.

## APPENDIX B – ADDITIONAL RESOURCES

### National Park Service

The National Park Service Preservation Briefs and other relevant publications provide additional guidance and technical recommendations to supplement the information provided in these Design Guidelines. The following links should be referenced to inform project planning.

<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

National Park Service Preservation Tech Notes

<http://www.nps.gov/tps/how-to-preserve/tech-notes.htm>

National Park Service Technical Preservation Services – Sustainability

<https://www.nps.gov/tps/sustainability.htm>

### *Preservation Briefs*

“Preservation Brief 3: Improving Energy Efficiency in Historic Buildings.” National Park Service.

<https://www.nps.gov/tps/how-to-preserve/briefs/3-improve-energy-efficiency.htm>

“Preservation Brief 13: The Repair and Thermal Upgrading of Historic Steel Windows.”

National Park Service. <https://www.nps.gov/tps/how-to-preserve/briefs/13-steel-windows.htm>

“Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns.”

National Park Service. <https://www.nps.gov/tps/how-to-preserve/briefs/14-exterior-additions.htm>

“Preservation Brief 24: Heating, Ventilating, and Cooling Historic Buildings.”

National Park Service. <https://www.nps.gov/tps/how-to-preserve/briefs/24-heat-vent-cool.htm>

“Preservation Brief 32: Making Historic Properties Accessible.” National Park Service. <https://www.nps.gov/tps/how-to-preserve/briefs/32-accessibility.htm>

### *Bulletins and Guidelines*

“Hollin Hills Design Guidelines.” Civic Association of Hollin Hills. <https://www.hollin-hills.org/design-review/guidelines/>

“Installing Solar Panels and Meeting the Secretary of the Interior’s Standards.” National Park Service. <https://www.nps.gov/tps/sustainability/new-technology/solar-on-historic.htm>.

“National Register Bulletin Number 15: How to Apply the National Register Criteria for Evaluation.” National Park Service. [https://www.nps.gov/subjects/nationalregister/upload/NRB-15\\_web508.pdf](https://www.nps.gov/subjects/nationalregister/upload/NRB-15_web508.pdf)

“Repair and Upgrade Windows and Doors.” National Park Service. <https://www.nps.gov/tps/sustainability/energy-efficiency/weatherization/windows-doors.htm>

“Replacement Windows that Meet the Standards.” National Park Service. <https://www.nps.gov/tps/standards/applying-rehabilitation/successful-rehab/windows-replacement.htm>

“Saving Windows, Saving Money.” Preservation Green Lab of the National Trust for Historic Preservation. <https://forum.savingplaces.org/viewdocument/saving-windows-saving-money-evalu>

“Technical Bulletin No. 2, Modern Design.” Washington, D.C.: Federal Housing Administration, March 1, 1941.

“Technical Bulletin No. 4, Principles of Planning Small Houses.” Washington, D.C. Federal Housing Administration, 1936, revised July 1, 1940.

“The Secretary of the Interior’s Standards for Rehabilitation and Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings.” National Park Service. <https://www.nps.gov/tps/standards/rehabilitation/guidelines/sustainability.htm>

## Websites:

Fairfax County Land Development Services Webpage. <https://www.fairfaxcounty.gov/landdevelopment/>

Hollin Hills. The Cultural Landscape Foundation. <https://tclf.org/landscapes/hollin-hills>

Hollin Hills: A Mid-century Modern Community. <https://www.hollin-hills.org/>

Civic Association of Hollin Hills. <https://www.hollin-hills.org/civicasociation/>

Civic Association of Hollin Hills Design Review Committee. *Hollin Hills Design Guidelines* (2011). <https://www.hollin-hills.org/design-review/guidelines/>

Article 3, Section 3101.1 of the Fairfax County Zoning Ordinance. <https://online.encodeplus.com/regs/fairfaxcounty-va/doc-viewer.aspx?tocid=001.004.002>

Hollin Hills Historic Overlay District (HOD) undertaken by Fairfax County Board of Supervisors



Board of Supervisors Motion (July 31, 2018), page 34 of the Board Summary: <https://www.fairfaxcounty.gov/boardofsupervisors/sites/boardofsupervisors/files/assets/meeting-materials/2018/board/july31-board-summary.pdf#page=34>

## **Books:**

Civic Association of Hollin Hills and Michael Hentges. *Hollin Hills, Community of Vision: a Semicentennial History 1949-1999*. 2000.

## **National Register Nomination**

VDHR File #029-5471. Hollin Hills Historic District National Register of Historic Places Registration Form. United States Department of the Interior (March 12, 2013) (Listed on VLR 6/19/2013 and NRHP 9/30/2013; updated 2/5/2016).

<https://www.nps.gov/nr/feature/places/pdfs/13000807.pdf>

## APPENDIX C – LIST OF CONTRIBUTING AND NON-CONTRIBUTING PROPERTIES (DRAFT)

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## Bedford Lane

### **2001 Bedford Lane** **Contributing**

House Unit #1 was constructed in 1950. In 1972 an addition was added on the South elevation.

### **2002 Bedford Lane** **Non-contributing**

House Unit #2 originally constructed in 1952. In 1955 a one-story addition was added on the Northeast elevation. In 1957 a screened in porch was added on the Southwest elevation. In 1961 an addition was added on the Northeast elevation. In 1976 a garage addition was added on the Northeast elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD

### **2003 Bedford Lane** **Contributing**

House Unit #1 was constructed in 1950. In 1961 an addition was added on the Southeast elevation.

### **2004 Bedford Lane** **Contributing**

House Unit #2 was constructed in 1950. A carport was added in 1952 and a two-story addition by Eason Cross was added in 1961 at the rear of the structure. There were two minor additions in 1989 on the front and side elevations which included enclosing the front porch.

### **2005 Bedford Lane** **Non-contributing**

House Unit #2 was constructed in 1950. In 1961 an addition was added on the Northwest elevation, designed by Eason Cross. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

## Beechwood Road

### **7200 Beechwood Road** **Contributing**

House Unit #2B42LB was constructed in 1954. In 1955 and 1956 a carport and porch were added by Casper Neer. In 1966 the carport was converted into a master bedroom and a foyer was added by Robert Calhoun Smith.

### **7201 Beechwood Road** **Contributing**

House Unit #2B42LB was constructed in 1953.

### **7202 Beechwood Road** **Contributing**

Constructed in 1952. In 1963 an addition was added to the South elevation. In 1967 a one-story addition was added to the South elevation. In 2000 a carport addition was added to the East elevation.

### **7203 Beechwood Road** **Contributing**

House Unit #2 was constructed in 1952. In 1964 an addition designed by Eason Cross was added on the Southwest elevation.

### **7204 Beechwood Road** **Contributing**

House Unit #2 was constructed in 1953. In 1973 an addition was added on the West elevation.

### **7205 Beechwood Road** **Contributing**

House Unit #2 was constructed in 1953. In 1962 an addition designed by Eason Cross was added on the East elevation.

### **7206 Beechwood Road** **Contributing**

House Unit #2 was constructed in 1953. In 1959 a two-story addition was added on the North elevation.

### **7207 Beechwood Road** **Contributing**

House Unit #2 was constructed in 1952.

### **7209 Beechwood Road** **Contributing**

House Unit #2 variation was constructed in 1953.

### **7210 Beechwood Road** **Contributing**

House Unit #2 or #3 was constructed in 1953. In 1955 an addition was added on the South elevation.

### **7211 Beechwood Road** **Contributing**

House Unit #2 was constructed in 1952. In 1975 an addition was added on the North elevation.

### **7212 Beechwood Road** **Contributing**

House Unit #5A was constructed in 1952. In 1960 an addition was added on the on the North elevation.



**7213 Beechwood Road** **Contributing**  
House Unit #5A was constructed in 1952. In 1966 an addition was added on the East elevation.

**7214 Beechwood Road** **Contributing**  
House Unit #2 was constructed in 1953. In 1970 an addition was added on the Northwest elevation. In 1972 an addition was added on the Southeast elevation. In 2002 an addition was added on the Northeast elevation.

**7216 Beechwood Road** **Contributing**  
House Unit #2 was constructed in 1953. In 1967 an addition was added on the Southwest elevation.

**7217 Beechwood Road** **Contributing**  
House Unit #2 was constructed in 1952.

**7218 Beechwood Road** **Contributing**  
House Unit #6 was constructed in 1953. In 2008 an addition was added on the Southwest elevation.

**7219 Beechwood Road** **Contributing**  
House Unit #2B42LB was constructed in 1952 with a peekaboo window at the entry.

**7220 Beechwood Road** **Contributing**  
House Unit #6 was constructed in 1953. In 1970 a one-story addition was added on the East elevation. In 1973 an addition was added on the West elevation.

**7221 Beechwood Road** **Contributing**  
House Unit #2B42LB was constructed in 1952. In 1961 an addition was added on the Southwest elevation. In 1997 an addition was added on the Northwest elevation. In 2006 an addition was added on the Northwest elevation.

**7222 Beechwood Road** **Contributing**  
House Unit #1B was constructed in 1953. Photos of this property were used by AIA in 10 most significant houses in 1st half of 20th century.

**7223 Beechwood Road** **Contributing**  
House Unit #2B42LB was constructed in 1953.

**7224 Beechwood Road** **Contributing**  
House Unit #2 was constructed in 1953. In 1968 an addition was added on the South elevation. Photos of this property were used by AIA in 10 most significant houses in 1st half of 20th century.

**7225 Beechwood Road** **Contributing**  
House Unit #2B42LB was constructed in 1952.

## Brentwood Place

**2400 Brentwood Place** **Contributing**  
House Unit Custom Line was constructed in 1958.

**2401 Brentwood Place** **Contributing**  
House Unit #8B4 was constructed in 1958.

**2402 Brentwood Place** **Contributing**  
House Unit custom line was constructed in 1958. In 1992 an addition was added on the North elevation.

**2403 Brentwood Place** **Contributing**  
House Unit #8 variation was constructed in 1958.

**2404 Brentwood Place** **Contributing**  
House Unit Mainline was constructed in 1958. In 1965 an addition was added on the North elevation. In 1971 an addition was added on the West elevation.

**2405 Brentwood Place** **Contributing**  
House Unit #57 rectangle, the Award Special, was constructed in 1958. The dwelling has a cupola.

**2406 Brentwood Place** **Contributing**  
House Unit Main line was constructed in 1957. In 1999 an addition was added on the West elevation. In 2017 an addition was added on the North elevation.

**2407 Brentwood Place** **Contributing**  
House Unit #57, the Award, was constructed in 1957. There is also a cupola on the dwelling.

**2408 Brentwood Place** **Contributing**  
House Unit Custom Line was constructed in 1957. In 1990 an addition was added on the Northwest elevation.

**2409 Brentwood Place                      Non-Contributing**

House Unit #57, the Award, was constructed in 1957. In 1962 an addition was added on the Southwest elevation. In 1977 an addition was added on the Southeast elevation.

**2410 Brentwood Place                      Contributing**

House Unit Main Line was constructed in 1957. In 1974 additions was added on the Northwest elevation and on the Southeast elevation.

**2411 Brentwood Place                      Contributing**

House Unit Custom Line was constructed in 1957. In 2014 a one-story addition was added on the Northeast elevation.

**2412 Brentwood Place                      Contributing**

House Unit #57, the Award, was constructed in 1958. The dwelling has a cupola.

**2413 Brentwood Place                      Contributing**

House Unit Custom Line was constructed in 1957. In 1958 an addition was added on the Southwest elevation. In 1969 an addition was added on the Southwest elevation.

## Daphne Lane

**2400 Daphne Lane                      Contributing**

House Unit Custom Line was constructed in 1957.

**2401 Daphne Lane                      Contributing**

House Unit Custom Line was constructed in 1957. In 2011 an addition was added on the West elevation.

**2402 Daphne Lane                      Contributing**

House Unit Custom Line was constructed in 1957.

**2403 Daphne Lane                      Non-Contributing**

House Unit Main Line was constructed in 1957. In 2008 there was a butterfly-roof addition on the West elevation by the owner and architect Heather Watenpaugh. The large addition on the front elevation was added on after the National Register Nomination. It is believed that the dwelling is not proportional to the landscape. The original house was still on the property and visible. There is a large concrete block fireplace chimney visible from the street. The scale does not fit in with the characteristics of Hollin Hills. This is why the status has changes from the National Register status.

**2404 Daphne Lane                      Contributing**

House Unit Custom Line was constructed in 1957. In 1981 an addition was added on the North elevation. In 1988 an addition was added on the North elevation.

**2405 Daphne Lane                      Contributing**

House Unit Custom Line was constructed in 1957. In 1977 an addition was added on the West elevation.

**2406 Daphne Lane                      Contributing**

House Unit Custom Line was constructed in 1957. In 1961 a two-story addition was added on the West elevation.

**2407 Daphne Lane                      Contributing**

House Unit #57, the Award, was constructed in 1958. The dwelling has a cupola.

## Davenport Street

### **7800 Davenport Street** **Non-Contributing**

House Unit #260 was constructed in 1960.

### **7801 Davenport Street** **Contributing**

House Unit #57, the Award, was constructed in 1962. In 1966 an addition was added on the Northeast elevation. In 1995 an addition was added on the Northeast elevation. In 2001 an addition was added on the South elevation.

### **7802 Davenport Street** **Contributing**

House Unit #2B42LB was constructed in 1963. In 1991 a one-story addition was added on the Northwest elevation.

### **7803 Davenport Street** **Contributing**

House Unit Decca or #2B42LB was constructed in 1961. In 1996 a one-story addition was added on the Southwest elevation.

## Drury Lane

### **1800 Drury Lane** **Contributing**

House Unit #2 was constructed in 1949. In 1960 an addition was added on the Southeast elevation.

### **1805 Drury Lane** **Contributing**

House Unit #1B was constructed in 1949. In 1990 a one-story addition was added on the Northwest elevation. In 1996 an addition was added on the Southwest elevation.

### **1808 Drury Lane** **Contributing**

House Unit #2B42LB or #1A was constructed in 1949. In 1954 an addition was added on the Northeast elevation. In 1992 an addition was added on the Southwest elevation.

### **1809 Drury Lane** **Contributing**

House Unit #2 variation was constructed in 1949. In 1954 an addition was added on the South elevation.

### **1812 Drury Lane** **Contributing**

House Unit #2B42LB was constructed in 1950. In 1992 an addition was added on the Northwest elevation.

### **1813 Drury Lane** **Contributing**

House Unit #2 was constructed in 1949. In 1958 an addition was added on the Northwest elevation. In 1981 an addition was added on the North elevation.

### **1814 Drury Lane** **Contributing**

House Unit #2 was constructed in 1949. In 1960 an addition was added on the Northeast elevation.

### **1815 Drury Lane** **Contributing**

House Unit #2 was constructed in 1949.

### **1816 Drury Lane** **Contributing**

House Unit #2 was constructed in 1950. In 1953 an addition was added on the Northwest elevation. In 2007 a one-story addition was added on the Northeast and Northwest elevation.

### **1817 Drury Lane** **Contributing**

House Unit #1 variation was constructed in 1949. In 1950 an addition was added on the West elevation. In 1978 an addition was added on the South elevation.

### **1819 Drury Lane** **Contributing**

House Unit #1 variation was constructed in 1950. In 1964 an addition was added on the West elevation. In 2007 an addition was added on the West elevation. In 2011 an addition was added on the South elevation.

### **1820 Drury Lane** **Non-Contributing**

House Unit #2 was constructed in 1950. In 1950 a carport addition was added on the East elevation. In 1955 an addition was added on the West elevation. In 1992 an addition was added on the East elevation.



## Elba Court

### **2400 Elba Court** **Contributing**

House Unit #57, the Award Special, was constructed in 1964. There was no cupola on the dwelling.

### **2401 Elba Court** **Contributing**

House Unit #2 was constructed in 1965.

### **2402 Elba Court** **Contributing**

House Unit Custom Line was constructed in 1964.

### **2403 Elba Court** **Contributing**

House Unit #57, the Award Special, was constructed in 1964. In 1978 an addition was added on the East elevation. There was no cupola.

### **2404 Elba Court** **Contributing**

House Unit #57, the Award, was constructed in 1964. In 1975 an addition was added on the West elevation and on the East elevation the carport was enclosed and there was a storage addition. There was no cupola.

### **2405 Elba Court** **Non-Contributing**

House Unit #57, the Award Special, was constructed in 1964. In 1969 an addition was added in the West elevation. In 1974 an addition was added on the West elevation.

## Elba Road

### **7500 Elba Road** **Contributing**

House Unit #2B42LB was constructed in 1966.

### **7501 Elba Road** **Contributing**

House Unit #57, The Award, was constructed in 1965. There was a cupola on the dwelling. In 1979 an addition was added on the Southeast elevation.

### **7503 Elba Road** **Contributing**

House Unit #57, The Award, was constructed in 1964.

### **7504 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1965. In 1971 an addition was added on the East elevation with a clerestory pop up.

### **7505 Elba Road** **Contributing**

House Unit Main Lane was constructed in 1964. In 1977 an addition was added on the Southwest elevation. In 1990 an addition was added on the Northeast elevation.

### **7507 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1965. In 1964 an addition was added on the West elevation. In 1966 a carport addition was added on the West elevation.

### **7519 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1964. In 1986 the carport was enclosed.

### **7520 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1964.

### **7521 Elba Road** **Contributing**

House Unit Custom Line or Main Line was constructed in 1964.

### **7523 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1963. In 2009 a one-story addition was added to the Southeast elevation.

### **7525 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1964. In 1974 the carport was enclosed on the West elevation. In 1990 there were two additions, one on the North elevation and one on the West elevation.

### **7526 Elba Road** **Contributing**

House Unit Main Line was constructed in 1963. In 1965 an addition was added to the South elevation.

### **7527 Elba Road** **Contributing**

House Unit #260 was constructed in 1969. In 1969 an addition to the Southeast elevation was added.

### **7528 Elba Road** **Contributing**

House Unit #260 was constructed in 1963. In 1976 there was an addition to the North elevation. In 1999 there was an addition to the West elevation.

**7529 Elba Road** **Contributing**

House Unit Main Line was constructed in 1963. In 1966 an addition was added on the Northwest elevation. In 1997 an addition was added on the Southwest elevation.

**7600 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1963. In 1972 an addition to the Northwest elevation was added. In 2000 an addition to the Southwest elevation was added.

**7601 Elba Road** **Contributing**

House Unit #260 was constructed in 1963.

**7602 Elba Road** **Contributing**

House Unit #260 was constructed in 1962.

**7603 Elba Road** **Contributing**

Path to School

**7604 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1963.

**7605 Elba Road** **Contributing**

House Unit #57, the Award Special, was constructed in 1962.

**7606 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1962.

**7608 Elba Road** **Contributing**

House Unit #57, the Award was constructed in 1962. In 1967 there was a workshop and carport shed addition to the dwelling. In 1975 there was a greenhouse addition. There was no cupola on the dwelling.

**7610 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1962. In 1995 an addition on the Southeast elevation was added.

**7612 Elba Road** **Contributing**

House Unit Decca was constructed in 1962.

**7613 Elba Road** **Non-Contributing**

House Unit #57, the Award, was constructed in 1962. In 1988 there was an addition by Patrick Collins over the entire first story of the original first story.

**7615 Elba Road** **Contributing**

House Unit #260 was constructed in 1962.

**7616 Elba Road** **Contributing**

House Unit Decca was constructed in 1963.

**7618 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1959. In 2015 an addition to the East elevation was added.

**7700 Elba Road** **Contributing**

House Unit #5B was constructed in 1959.

**7702 Elba Road** **Contributing**

House Unit #57, the Award Special, was constructed in 1959. In 2007 there was an addition to the West elevation with a shed roof by Andrew Cheng. The dwelling had a cupola.

**7703 Elba Road** **Contributing**

House Unit Main Line was constructed in 1959. In 1998 an addition was added on the Southeast elevation.

**7704 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1959. In 1970 the carport was enclosed. In 2000 an addition to the West elevation was added.

**7705 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1957. In 1958 a carport was added on the Northwest elevation. In 1964 a storage unit was added to the carport. In 1973 a one-story addition was added to the Southeast elevation.

**7706 Elba Road** **Contributing**

House Unit Main Line was constructed in 1957. In 1968 there was an addition to the dwelling and the carport was enclosed.

**7707 Elba Road** **Contributing**

House Unit Main Line was constructed in 1957.

**7708 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1957. There was an addition to the dwelling in 1965.

**7710 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1957. In 1965 there was a front addition that enclosed a carport and a cupola.

**7711 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1957. In 1968 an addition to the Northeast elevation was added. The dwelling had a cupola.

**7712 Elba Road** **Contributing**

House Unit Main Line was constructed in 1957. In 1961 an addition to the East elevation. In 1966 an addition to the West elevation was added.

**7713 Elba Road** **Contributing**

House Unit Main Line was constructed in 1957. There was an addition on the right side of the dwelling.

**7714 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1960. The dwelling had a cupola and a rear addition.

**7715 Elba Road** **Contributing**

House Unit Main Line was constructed in 1957.

**7716 Elba Road** **Contributing**

House Unit Main Line was constructed in 1961.

**7717 Elba Road** **Contributing**

House Unit #57, the Award, was constructed in 1957. In 1967 an addition to the North elevation was added.

**7718 Elba Road** **Contributing**

House Unit Main Line was constructed in 1961.

**7720 Elba Road** **Contributing**

House Unit Decca was constructed in 1961. There was a lower level of the dwelling with a large chimney.

**7722 Elba Road** **Contributing**

House Unit Main Line was constructed in 1961.

**7800 Elba Road** **Contributing**

House Unit Custom Line was constructed in 1961. In 2000 the screened in porch was enclosed on the North elevation.

**7801 Elba Road** **Contributing**

House Unit Alcoa '57 was constructed in 1957. The purple panels were designed by Charles Goodman. Eason Cross designed blue anodized grills and perforated brick walls.

**7802 Elba Road** **Contributing**

House Unit Main Line was constructed in 1961. The dwelling has a lower level and a rear addition with a brick façade.

**7804 Elba Road** **Contributing**

House Unit #260 was constructed in 1961. In 1968 an addition to the South elevation was added.

**7805 Elba Road** **Contributing**

House Unit #8 was constructed in 1959. The original Unit was designed by Eason Cross. There are two side additions on the dwelling.

**7807 Elba Road** **Contributing**

House Unit #260 and Main Line hybrid was constructed in 1959. The dwelling is a one-story high rectangular floorplan with a rafter roof and cathedral ceilings. The house had a cupola and a chimney on the side of the house rather than the gable end. There was a side addition in 1966.

**7809 Elba Road** **Contributing**

House Unit #260 and Main Line hybrid was constructed in 1957. The dwelling is a one-story high rectangular floorplan with a rafter roof and cathedral ceilings. The house had a cupola and a chimney on the side of the house rather than the gable end.

## Glasgow Road

**2200 Glasgow Road** **Contributing**

House Unit #2 was constructed in 1952. In 1964 there was a Casper Neer addition to the East elevation.

**2204 Glasgow Road** **Contributing**

House Unit #5B was constructed in 1952.

**2205 Glasgow Road** **Contributing**

House Unit #2 was constructed in 1953. In 1979 additions to the West and East elevation were added.

**2208 Glasgow Road** **Contributing**

House Unit #2 was constructed in 1954. In 1971 an addition to the Northwest was added. In 1990 an addition to the Northeast elevation was added.



<b><u>2212 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2305 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2B42LB was constructed in 1953. There were additions to the dwelling.		House Unit #7L was constructed in 1955. In 1964 a one-story addition to the West elevation.	
<b><u>2213 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2306 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2 was constructed in 1953. In 1970 an addition to the South elevation was added.		House Unit #7L was constructed in 1955.	
<b><u>2216 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2307 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit Custom #2B42LB was constructed in 1954. There is a rear addition. Eason Cross did the front addition with a Plexiglas covering. It is the only house accessible by a bridge.		House Unit #7L was constructed in 1955. In 2001 a one-story addition to the Southeast elevation, designed by Eason Cross.	
<b><u>2220 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2308 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2b42LB was constructed in 1953. In 1957 an addition on the West elevation was added.		House Unit #7L was constructed in 1955. In 1965 a one-story addition was added to the South elevation, designed by Eason Cross	
<b><u>2221 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2309 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2 was constructed in 1953. In 1988 there was a butterfly roof addition and a front addition to the dwelling.		House Unit #7L was constructed in 1963. In 1963 a three story addition to the Southwest elevation, designed by Eason Cross. In 2004 another addition, one story, by Eason Cross was added to the Northeast elevation. It was owned and renovated by Eason Cross.	
<b><u>2224 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2310 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2B42LB was constructed in 1953. In 1968 an addition to the South elevation was added.		House Unit #7L was constructed in 1955. In 1972 an addition to the South elevation was added, designed by Tom Kerns. In 1990 an addition to the North elevation was added.	
<b><u>2227 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2311 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2 Butterfly was constructed in 1953. In 1966 an addition to the Southwest elevation was added.		House Unit #7L was constructed in 1955. In 1964 an addition to the North elevation was added, designed by Eason Cross. In 2010 the carport was enclosed, by Rebecca Bostick.	
<b><u>2228 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2312 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2 was constructed in 1953. There were extensive modifications done to the dwelling by Frank Gutches.		House Unit #2B42LB was constructed in 1955. In 1958 a carport addition was added to the East elevation, designed by Casper Neer. In 1976 the carport was enclosed.	
<b><u>2232 Glasgow Road</u></b>	<b><u>Contributing</u></b>	<b><u>2313 Glasgow Road</u></b>	<b><u>Contributing</u></b>
House Unit #2B42LB was constructed in 1953.		House Unit #7L was constructed in 1955. In 1967 an Eason Cross addition on the South elevation was added.	
<b><u>2303 Glasgow Road</u></b>	<b><u>Contributing</u></b>		
House Unit #7L was constructed in 1954.			
<b><u>2304 Glasgow Road</u></b>	<b><u>Non-Contributing</u></b>		
House Unit #7L was torn down. The standing structure was rebuilt in 2006, it was designed by Suzanne Reatig. The carport was designed by Thomas Kuester. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.			

## Hopa Court

### **7419 Hopa Court** **Contributing**

House Unit #5CS was constructed in 1969.

### **7420 Hopa Court** **Contributing**

House Unit #8 was constructed in 1968.

### **7421 Hopa Court** **Contributing**

House Unit #2B42LB was constructed in 1968.

### **7422 Hopa Court** **Contributing**

House Unit #57, the Award Special, was constructed in 1969.

### **7423 Hopa Court** **Contributing**

House Unit Decca was constructed in 1969.

### **7424 Hopa Court** **Contributing**

House Unit #57, the Award Special, was constructed in 1968. There is no cupola on the dwelling.

## Kimbrow Street

### **2300 Kimbro Street** **Contributing**

House Unit #57, the Award, was constructed in 1965. In 1970 a one-story addition was added to the East elevation. There is no cupola.

### **2303 Kimbro Street** **Contributing**

House Unit #2B42LB was constructed in 1969.

### **2305 Kimbro Street** **Contributing**

House Unit Decca was constructed in 1969. In 1993 an addition on the North elevation was added.

### **2306 Kimbro Street** **Contributing**

House Unit #5CS was constructed in 1970.

### **2307 Kimbro Street** **Contributing**

House Unit #57, the Award Special, was constructed in 1969.

### **2308 Kimbro Street** **Contributing**

House Unit #57, the Award Special, was constructed in 1970. In 1972 a carport and small room addition on the North elevation. There is no cupola.

### **2310 Kimbro Street** **Contributing**

House Unit Decca was constructed in 1970.

### **2311 Kimbro Street** **Contributing**

House Unit Decca or #2B42LB was constructed in 1969.

### **2312 Kimbro Street** **Contributing**

House Unit #5CS was constructed in 1970. In 1980 an addition on the Southeast elevation was added.

### **2314 Kimbro Street** **Contributing**

House Unit #5CS was constructed in 1970. In 2002 an addition on the Northeast elevation was added that extends the full length of the dwelling.

### **2315 Kimbro Street** **Contributing**

House Unit Decca was constructed in 1969. In 2004 the front porch was enclosed, by Robert Fina.

### **2316 Kimbro Street** **Contributing**

House Unit Decca was constructed in 1970. In 1991 a two-story addition extending the full length of the Southwest elevation.

### **2317 Kimbro Street** **Contributing**

House Unit #2B42LB was constructed in 1970. In 2010 a two-story addition to the South elevation was added.

### **2318 Kimbro Street** **Contributing**

House Unit #8 was constructed in 1970.

### **2319 Kimbro Street** **Contributing**

House Unit #2B42LB was constructed in 1970.

### **2320 Kimbro Street** **Contributing**

House Unit #10 was constructed in 1970. In 2015 an addition of a two-story entry to the Northwest elevation was added.

### **2321 Kimbro Street** **Contributing**

House Unit #5CS was constructed in 1970. In 1974 a three story addition on the North elevation was added.

## Lisbon Lane

### **2401 Lisbon Lane** **Contributing**

House Unit #57, the Award Special, was constructed in 1963. In 1965 a carport and storage addition to the West elevation was added. There was a cupola on the dwelling.

### **2402 Lisbon Lane** **Contributing**

House Unit Custom Line was constructed in 1963. In 2014 a one-story addition to the South elevation and carport to the west elevation were added.

### **2403 Lisbon Lane** **Contributing**

House Unit Custom Line was constructed in 1963. In 1968 an addition to the North elevation and one to the South elevation were added.

### **2404 Lisbon Lane** **Contributing**

House Unit #57, the Award Special, was constructed in 1963.

## Martha's Road

### **1903 Martha's Road** **Contributing**

House Unit #2 was constructed in 1951. In 1955 there was an addition to the Northeast elevation.

### **1904 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952.

### **1905 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1952. In 1995 there was an eight foot addition to the front of the dwelling and a carport addition.

### **1907 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1952. In 1956 there was a side addition. In 1971 there was an addition on the opposite side.

### **1908 Martha's Road** **Non-Contributing**

House Unit #2 was constructed in 1952. The dwelling was remodeled in 2003. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

### **1909 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1952. In 1987 an addition to the East elevation was added.

### **1910 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952.

### **1911 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1952. In 1960 an addition to the East elevation was added.

### **1912 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952.

### **1913 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1952. In 1955 there was a Sears Roebuck carport addition.

### **1914 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In the 1980s there was a 2 story butterfly roofed addition by Patrick Collins.

### **1915 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952.

### **1916 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952.

### **1917 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1967 there was a front addition to. In 1969 there was a rear addition. In 1988 there was a side addition and in 2004 there was another addition.

### **1919 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1951.

### **1920 Martha's Road** **Contributing**

House Unit #2 was constructed in 1951.

### **1921 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1951.



**1922 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1951. In 1965 an addition to the North elevation was added.

**1923 Martha's Road** **Contributing**  
House Unit #2B42LB was constructed in 1951. In 1955 there was a carport addition designed by Casper Neer.

**1924 Martha's Road** **Non-Contributing**  
House Unit #2 was constructed in 1951. In 1996 a one-story addition on the South elevation. In 2007 a two-story addition on the East elevation was added.

**1925 Martha's Road** **Contributing**  
House Unit #2B42LB was constructed in 1951. In 1969 a two-story addition on the West elevation was added.

**1926 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1950. In 2006 a two-story addition was added to the West elevation.

**1927 Martha's Road** **Contributing**  
House Unit #2 variation was constructed in 1951. In 1971 an addition on the East elevation was added. In 2001 an addition to the Southwest elevation was added, designed by Eason Cross.

**1929 Martha's Road** **Contributing**  
House Unit #2B42LB was constructed in 1951.

**1931 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1951. In 1988 an addition to the North elevation was added.

**1933 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1951. In 1952 a carport was added to the Northeast elevation. In 1960 an addition on the Northeast elevation was added.

**1935 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1951. In 1957 two additions were added on the West elevation, designed by Casper Neer. In 1971 another addition to the West elevation was designed by Neer and Graef.

**1936 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1950. In 1952 an addition on the North elevation was added. In 1977 an addition to the West elevation.

**1937 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1951. In 1989 there was an addition to the dwelling.

**1938 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1951. In 1983 an addition to the South elevation was added.

**1939 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1950. In 1954 the porch was enclosed on the East elevation. In 1981 there was a second story addition where the enclosed porch was.

**1940 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1951.

**1941 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1950. In 1995 a one-story addition was added to the North elevation.

**1942 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1952. In 1956 an addition on the Southeast elevation was added, designed by Casper Neer. In 1965 an addition was added to the Northwest elevation. In 1975 an addition was added to the Northwest elevation. In 2016 a one-story addition was added to the Southeast elevation.

**1943 Martha's Road** **Contributing**  
House Unit #2 variation was constructed in 1952.

**1944 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1952. In 1999 there was an addition to the dwelling.

**1945 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1952. In 1980 an addition to the East elevation was added.

**1946 Martha's Road** **Contributing**  
House Unit #2 was constructed in 1952. In 1964 an addition to the West elevation was added. In 1970 an addition was added to the East elevation.

**1947 Martha's Road** **Non- Contributing**

House Unit #2 was constructed in 1952. In 1967 an addition to the East elevation was added. In 1977 an addition to the South elevation was added. In 1989 an addition to the North elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

**1948 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952.

**1949 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952.

**1950 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1961 an addition to the West elevation was added.

**1951 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 2003 a one-story addition to the East elevation was added.

**1952 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1970 there was an addition to the dwelling.

**1953 Martha's Road** **Contributing**

House Unit #2 was constructed in 1951.

**2000 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1962 an addition on the Southwest elevation was added.

**2001 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1968 an addition on the West elevation was added.

**2003 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952.

**2005 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1988 an addition on the South elevation. In 2000 Eason Cross designed a one-story addition to the North elevation.

**2007 Martha's Road** **Contributing**

House Unit #4 was constructed in 1951. In 1957 an addition on the South elevation was designed by Casper Neer. In 1966 on the East elevation an addition was added by George Hartman.

**2009 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1953 a carport was added to the Southeast corner of the dwelling. In 1980 additions to the South and East elevations were added. In 1983 a two-story addition was added to the South elevation.

**2100 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1951.

**2101 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1990 a one-story addition to the South elevation was added.

**2102 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1971 additions on the East and West elevation were added.

**2103 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1978 an addition on the South elevation was added.

**2104 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1956 an addition on the Southwest elevation was added. In 1977 an addition was added, designed by Eason Cross.

**2105 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 2015 a single-story addition was added to the East elevation.

**2106 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1956 a carport addition was added to the Southwest elevation. In 2013 a second story addition was added above the existing carport.

**2107 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1976 a two-story addition to the West elevation was added, and a greenhouse addition was added to the South elevation.

**2200 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1957 an addition to the Northeast elevation was added. In 1997 an addition to the Northeast elevation was added, designed by Eason Cross. In 2002 on the Southwest and Southeast elevations additions were added.

**2201 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1984 an addition was added to the dwelling.

**2202 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1952. There was a two-story addition to the dwelling.

**2203 Martha's Road** **Non-Contributing**

House Unit #3 was constructed in 1952. In 1970 an addition to the North and South elevation was added. In 1995 an addition to the South elevation and the Northeast corner were added. For these reasons the status has changed from the NR nomination of contributing to non-contributing to the HOD.

**2204 Martha's Road** **Contributing**

House Unit #2B42LB was constructed in 1952. In 2017 on the East elevation a two-story addition was added.

**2205 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1965 an addition on the Southwest elevation was added, designed by Robert Calhoun Smith.

**2206 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1953 an addition on the West elevation was added, designed by Charles Goodman.

**2207 Martha's Road** **Non-Contributing**

House Unit #2 Butterfly was constructed in 1952. In 1993 a one-story addition on the North elevation, designed by Robert Fina.

**2208 Martha's Road** **Contributing**

House Unit #2 Butterfly was constructed in 1952.

**2209 Martha's Road** **Contributing**

House Unit #4 was constructed in 1952. In 1957 an addition by Casper Neer was added to the Southwest elevation. In 1963 an addition on the Southeast elevation was added, designed by Casper Neer.

**2210 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1954 an addition on the Northeast elevation was added. In 2001 a one-story addition on the North elevation was added.

**2211 Martha's Road** **Contributing**

House Unit Custom was constructed in 1959. In 2017 a one-story addition was added to the Northeast elevation.

**2212 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1969 Robert Calhoun Smith modified the dwelling for Minnie Odoroff, who was Robert Davenport's secretary.

**2213 Martha's Road** **Contributing**

House Unit #2 Butterfly was constructed in 1952. In 1952 a carport and storage was added to the North elevation was added. In 1958 an addition on the East elevation was added.

**2214 Martha's Road** **Contributing**

House Unit #2 was constructed in 1952. In 1959 an addition was added on the North elevation. In 1967 an addition to the dwelling. In 1972 an addition to the dwelling.

**2215 Martha's Road** **Contributing**

House Unit Custom was constructed in 1957.

**2217 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1955 an addition to the Northeast elevation was added. In 1975 the carport was enclosed on the Northeast elevation. In 2008 additions on the Northeast elevation. In 2009 a carport addition was added to the Southeast elevation. For these reasons the status has changed from the NR nomination of contributing to non-contributing to the HOD.

**2219 Martha's Road** **Contributing**

House Unit #2 was constructed 1952. In 1975 a one-story addition was added to the Southeast elevation. In 1987 a one-story addition was added to the Southeast elevation. In 1990 a one-story addition was added to the Northwest elevation, designed by Robert Fina.

**2220 Martha's Road** **Contributing**

House Unit #3 was constructed in 1952. In 1990 an addition to the dwelling was added.



## Mason Hill Drive

### **2100 Mason Hill Drive** **Contributing**

House Unit #2B42 was constructed in 1968.

### **2101 Mason Hill Drive** **Contributing**

House Unit Decca was constructed in 1966.

### **2102 Mason Hill Drive** **Contributing**

House Unit #2B42 was constructed in 1967. In 1973 a carport was added to the dwelling.

### **2103 Mason Hill Drive** **Contributing**

House Unit Decca was constructed in 1966.

### **2107 Mason Hill Drive** **Contributing**

House Unit #57, the Award Special, was constructed in 1967.

### **2109 Mason Hill Drive** **Non-Contributing**

House Unit #57, the Award Special, was constructed in 1968. In 1979 an addition on the North elevation was added, designed by Kerns. In 2015 an addition on the South elevation was added. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

### **2111 Mason Hill Drive** **Contributing**

House Unit #57, the Award, was constructed in 1967. In 1968 an addition on the Northeast elevation was added. In 1991 an addition on the Southeast elevation was added.

### **2112 Mason Hill Drive** **Contributing**

House Unit #57, the Award Special, was constructed in 1967. In 1969 an addition to the East elevation was added. In 1990 a one-story additions on the South elevation was added. In 1994 an addition to the South elevation was added.

### **2113 Mason Hill Drive** **Contributing**

House Unit #2B42LB was constructed in 1968. In 1975 an addition was added to the Northwest elevation, designed by Tom Kerns.

### **2114 Mason Hill Drive** **Contributing**

House Unit #57, the Award, was constructed in 1967. In 1972 an addition was added on the Northeast elevation, designed by Casper Neer. In 2004 an addition on the Northwest elevation was added.

### **2115 Mason Hill Drive** **Contributing**

House Unit #57 the Award, was constructed in 1967. In 1969 an addition was added to the Southeast elevation. In 1989 an addition on the Northwest elevation was added.

## Nemeth Court

### **2405 Nemeth Court** **Contributing**

House Unit Custom Line was constructed in 1962.

Award, was constructed in 1962. There was a cupola on the dwelling.

### **2407 Nemeth Court** **Contributing**

House Unit #57, the Award, was constructed in 1962. There was an addition and a carport was added to the dwelling.

### **2408 Nemeth Court** **Contributing**

House Unit Custom Line was constructed in 1962. In 1991 an addition on the North elevation was added. In 1963 a carport addition on the West elevation was added.

### **2410 Nemeth Court** **Contributing**

House Unit #57, the Award, was constructed in 1962. In 1967 an addition was added to the North elevation. In 1969 a carport addition was added to the East elevation. In 1996 an addition on the North elevation was added.

## Nordok Place

### **2319 Nordok Place** **Contributing**

House Unit #57, the Award Special, was constructed in 1961. There was a cupola on the dwelling.

### **2320 Nordok Place** **Contributing**

House Unit Main Line was constructed in 1961.

### **2321 Nordok Place** **Contributing**

House Unit #57, the Award, was constructed in 1961. There was a cupola on the dwelling.

### **2400 Nordok Place** **Contributing**

House Unit #57, the Award, was constructed in 1959. In 1969 an addition was added to the East elevation. In 1993 a one-story addition on the East elevation was added. There was no cupola on this dwelling.

### **2401 Nordok Place** **Contributing**

House Unit Main Line was constructed in 1961. In 2009 a carport was added to the East elevation, designed by Robert Fina. In 2010 a one-story addition on the South elevation was added, designed by Robert Fina.

### **2402 Nordok Place** **Contributing**

House Unit #57, the Award Special, was constructed in 1961. There was a cupola on the dwelling.

### **2403 Nordok Place** **Contributing**

House Unit #57, the Award, was constructed in 1961. In 2004 a one-story addition was added to the West and South elevations. There was a cupola on the dwelling.

### **2405 Nordok Place** **Contributing**

House Unit Main Line was constructed in 1961. In 1969 an addition was added to the South elevation, designed by Michael G. Marshall.

### **2406 Nordok Place** **Contributing**

House Unit Main Line was constructed in 1959.

### **2407 Nordok Place** **Contributing**

House Unit #57, the Award or Award Special, was constructed in 1959. There was a cupola on the dwelling.

### **2408 Nordok Place** **Contributing**

House Unit #57, the Award, was constructed 1959. In 1964 an addition on the West elevation was added. In 1974 an addition to the North elevation was added. There was a cupola on the dwelling.

### **2409 Nordok Place** **Contributing**

House Unit Main Line was constructed in 1959. In 2014 an addition was added to the South elevation. In 2015 an addition was added on the North elevation.

## Paul Spring Road

### **1601 Paul Spring Road** **Contributing**

House Unit

### **1801 Paul Spring Road** **Contributing**

House Unit #2

### **1805 Paul Spring Road** **Contributing**

House Unit #2 was constructed in 1950.

### **1809 Paul Spring Road** **Contributing**

House Unit #2 was constructed in 1950. In 1951 an addition was added to the South elevation. In 1980 addition were added to the East and West elevation. In 2009 an addition was added to the South elevation.

### **1813 Paul Spring Road** **Contributing**

House Unit #2 was constructed in 1950.

### **1901 Paul Spring Road** **Contributing**

House Unit #2 was constructed in 1950. In 1977 a one-story addition was added on the South corner of the dwelling. In 1990 a second story addition was added over the Southeast elevation.

### **1905 Paul Spring Road** **Contributing**

Paul Spring Park

### **1909 Paul Spring Road** **Contributing**

House Unit #2 was constructed in 1950. In 2019 there are additions on the East and South elevation.

**2003 Paul Spring Road****Contributing**

House Unit #2 was constructed in 1950. In 1955 a second story addition perpendicular to the length of the dwelling was added to the South elevation. In 1991 additions on the East and West elevations were added. In 1991 an addition on the North elevation was added.

**2005 Paul Spring Road****Contributing**

House Unit #2 was constructed in 1950.

**2007 Paul Spring Road****Non-Contributing**

The dwelling was demolished. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

**2103 Paul Spring Road****Contributing**

House Unit #5A was constructed in 1952. In 1966 an addition was added on the South elevation. In 2014 a one-story addition was added to the South elevation.

**2105 Paul Spring Road****Contributing**

House Unit #2 Butterfly was constructed in 1953.

**2109 Paul Spring Road****Contributing**

House Unit #6 was constructed in 1953. In 1969 an addition on the South elevation was added, designed by Robert Calhoun Smith. In 1981 an addition on the South elevation was added.

**2111 Paul Spring Road****Contributing**

House Unit #5A was constructed in 1953.

**2113 Paul Spring Road****Contributing**

House Unit #5A was constructed in 1953. In 1956 an addition on the North elevation was added. In 1977 an addition was added on the South elevation. In 1996 a two-story addition was added to the South elevation.

**2115 Paul Spring Road****Contributing**

House Unit #1B was constructed in 1953. In 1956 an addition was added to the South elevation. In 1964 an addition to the East elevation was added.

**2117 Paul Spring Road****Contributing**

House Unit #6 was constructed in 1953. In 1996 an addition to the dwelling was added.

**2119 Paul Spring Road****Contributing**

House Unit #6 was constructed in 1953.

**2121 Paul Spring Road****Contributing**

House Unit #6 was constructed in 1953. In 1984 an addition to the South elevation was added.

**2201 Paul Spring Road****Contributing**

House Unit #5B was constructed in 1954.

**2203 Paul Spring Road****Contributing**

House Unit #5B was constructed in 1954.

**2205 Paul Spring Road****Contributing**

House Unit #5B was constructed in 1954.

**2207 Paul Spring Road****Contributing**

House Unit #7L was constructed in 1954.

**Pickwick Lane****2100 Pickwick Lane****Contributing**

House Unit #2 was constructed in 1952. In 1972 an addition was added to the South elevation. In 1982 an addition on the East elevation was added.

**2101 Pickwick Lane****Contributing**

House Unit #2 was constructed in 1952. In 1953 an addition and carport were added on the North elevation. In 2003 a one-story addition was added to the dwelling, designed by Joseph Wheeler.

**2103 Pickwick Lane****Non-Contributing**

House Unit #2 was constructed in 1952. In 1953 a breezeway and Carport addition was added to the West elevation. In 1978 a second story addition was added to the South elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

**2104 Pickwick Lane****Contributing**

House Unit #2 was constructed in 1953. In 1953 an addition on the Southwest elevation was added. In 1960 a two-story addition was added to the Southwest elevation was added, designed by Casper Neer. In 1975 the porch was enclosed.



## Popkins Lane

### **2103 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1955 an addition was added to the South elevation, designed by Robert C. Smith.

### **2105 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1976 an addition was added to the rear of the dwelling. In 2007 another addition was added to the rear of the dwelling. In 2011 on the East side of the dwelling there is an addition.

### **2106 Popkins Lane** **Contributing**

House Unit #2B42LB was constructed in 1952.

### **2107 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1985 a carport addition was added to the North elevation, designed by Robert Fina.

### **2108 Popkins Lane** **Contributing**

House Unit #2B42LB was constructed in 1952. In 1977 an addition was added to the North elevation.

### **2109 Popkins Lane** **Contributing**

House Unit #1B was constructed in 1952. In 1998 there was a rear addition designed by Christine A. Leonard.

### **2110 Popkins Lane** **Contributing**

House Unit #2B42LB was constructed in 1952. In 1981 an Eason Cross museum addition was added to the West elevation. In 1983 the previous addition was enlarged.

### **2111 Popkins Lane** **Contributing**

House Unit #1 was constructed in 1952. In 1988 a one-story addition on the West elevation. In 1994 an addition was added to the South elevation.

### **2112 Popkins Lane** **Contributing**

House Unit #2B42LB was constructed in 1953. In 1954 a carport addition and a one-story addition was added to the South elevation.

### **2113 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1976 a one-story addition was added to the West elevation. In 2008 a screened in porch was added to the West elevation.

### **2114 Popkins Lane** **Contributing**

House Unit #2B42LB was constructed in 1953. In 1955 a carport addition was added.

### **2115 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1994 an addition was added to the dwelling. In 2003 an addition was added to the East elevation.

### **2117 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1968 an addition was added on the North elevation. In 1970 an addition to the South elevation was added. In 1978 the existing garage was converted into a study and a carport was added on the North elevation.

### **2200 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1958 an addition was added to the West elevation.

### **2202 Popkins Lane** **Contributing**

House Unit #2 was constructed in 1952. In 1963 two additions were added to the North elevation. In 2014 another addition was added to the North elevation.

### **2204 Popkins Lane** **Non-Contributing**

House Unit #2 was constructed in 1997. The original dwelling burned down and was then rebuilt as a replica of the original. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

## Range Road

### **7414 Range Road**

### **Contributing**

House Unit #2B42 was constructed in 1968. In 2002 a stoop was enclosed on the South elevation. In 2012 a two-story addition was added in the same spot as the 2002 South elevation addition.

### **7416 Range Road**

### **Contributing**

House Unit #2B42LB was constructed in 1968. In 2007 a two-story addition on the South elevation was added and a one-story infill addition was added to the North elevation.

### **7418 Range Road**

### **Contributing**

House Unit #2B42LB was constructed in 1968.

### **7419 Range Road**

### **Contributing**

House Unit Atrium was constructed in 1966.

### **7421 Range Road**

### **Contributing**

House Unit #57, the Award Special, was constructed in 1965.

### **7501 Range Road**

### **Contributing**

House Unit Main Line was constructed in 1965.

### **7502 Range Road**

### **Contributing**

House Unit #2B42LB was constructed in 1966. In 1968 an addition on the East elevations was added.

### **7504 Range Road**

### **Contributing**

House Unit Decca or #2B42LB was constructed in 1965. In 2013 an addition was added to the South elevation.

### **7506 Range Road**

### **Contributing**

House Unit #57, the Award Special, was constructed in 1966. There was no cupola on the dwelling.

### **7507 Range Road**

### **Contributing**

House Unit #2 variation was constructed in 1966. In 1982 a one-story addition was added to the Northeast elevation.

### **7508 Range Road**

### **Contributing**

House Unit #2 Butterfly was constructed in 1966. In 1967 a carport addition was added on the South elevation.

### **7509 Range Road**

### **Contributing**

House Unit Atrium was constructed in 1966. In 1993 an addition on the South elevation was added. In 1998 a one-story addition was added to the

### **7511 Range Road**

### **Contributing**

House Unit #57, the Award Special, was constructed in 1966. There was a carport on the West elevation.

### **7600 Range Road**

### **Contributing**

House Unit #2 Butterfly was constructed in 1966. There was a carport on the Northwest elevation.

### **7602 Range Road**

### **Contributing**

House Unit #57, the Award Special, was constructed in 1967. In 1991 a one-story addition was added on the Northeast elevation. There was a cupola on the dwelling.

## Rebecca Drive

### **7102 Rebecca Drive** **Contributing**

House Unit #5B was constructed in 1954.

### **7104 Rebecca Drive** **Contributing**

House Unit Custom Butterfly was constructed in 1954.

### **7105 Rebecca Drive** **Contributing**

House Unit #6 was constructed in 1953. In 1984 an addition was added on the South elevation.

### **7106 Rebecca Drive** **Contributing**

House Unit #5B was constructed in 1954.

### **7108 Rebecca Drive** **Contributing**

House Unit #2 variation was constructed in 1954.

### **7110 Rebecca Drive** **Contributing**

House Unit #5B was constructed in 1954.

### **7200 Rebecca Drive** **Contributing**

House Unit #5B was constructed in 1954.

### **7202 Rebecca Drive** **Contributing**

House Unit #5CS was constructed in 1954.

### **7203 Rebecca Drive** **Non-Contributing**

House Unit #2 was constructed in 1954. In 1958 an addition was added on the Northwest elevation. In 1966 an addition was added on the Southwest elevation. In 1981 an addition was added on the Southeast elevation. In 2017 a one-story addition was added on the Southwest elevation was added. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

### **7204 Rebecca Drive** **Contributing**

House Unit #5CS was constructed in 1954.

### **7206 Rebecca Drive** **Contributing**

House Unit #7L was constructed in 1954.

### **7207 Rebecca Drive** **Contributing**

House Unit #5B was constructed in 1953. In 1966 an addition was added on the Northeast elevation. In 1973 an addition was added on the Southwest elevation.

### **7208 Rebecca Drive** **Contributing**

House Unit #3 was constructed in 1954. In 1971 a carport addition was added on the North elevation.

### **7210 Rebecca Drive** **Contributing**

House Unit #7L was constructed in 1954.

### **7211 Rebecca Drive** **Contributing**

House Unit #5B was constructed in 1953.

### **7213 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1953.

### **7214 Rebecca Drive** **Contributing**

House Unit #7L was constructed in 1954. In 1965 an addition was added on the Southeast elevation, designed by Eason Cross.

### **7215 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1953.

### **7216 Rebecca Drive** **Contributing**

House Unit #7L was constructed in 1954. In 1992 an addition on the East elevation was added. In 2002 an addition was added to the West elevation.

### **7300 Rebecca Drive** **Contributing**

House Unit #2 variation was constructed in 1954. In 1973 an addition on the West elevation and another on the East elevation. In 1978 a one-story garage addition was added to the North elevation. In 1978an addition was added to connect the dwelling and the garage. In 2002 a one-story addition was added on the West elevation.

### **7301 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1953. In 1980 an addition was added on the Northeast elevation.

### **7303 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1953. In 1965 an addition was added on the Southeast elevation. In 1993 an addition was added on the Northwest elevation.

### **7304 Rebecca Drive** **Non-Contributing**

House Unit Sonoma Ranger was constructed in 1954. In 1979 an addition was added on the South elevation. In 2018 a two-story addition was added on the North addition.



**7305 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1953. In 1960 an addition was added on the Northeast elevation. In 1974 an existing patio was enclosed.

**7307 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1953. In 1997 an addition was added on the Northeast elevation. In 2002 a one-story addition was added on the Northeast elevation.

**7308 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1954. In 1957 an addition was added on the North elevation. In 2017 an addition was added on the Northeast elevation.

**7312 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1953. In 1959 an addition was added on the Northeast elevation. In 1975 an addition was added on the Northeast elevation.

**7315 Rebecca Drive** **Contributing**

House Unit #2 was constructed in 1954. In 2011 a one-story addition on the South elevation and a one-story addition was added on the East elevation were added.

**7316 Rebecca Drive** **Contributing**

House Unit Scholtz pre-fab home was constructed in 1956.

**7320 Rebecca Drive** **Contributing**

House Unit Custom was constructed in 1956. The custom house was designed by Thomas W.D. Wright. In 1965 a two-story addition was added on the East elevation. In 1992 an addition was added on the North elevation.

**7321 Rebecca Drive** **Contributing**

House Unit #3 was constructed in 1954. In 1994 a one-story addition was added on the North elevation. There was also a carport addition was added on the West elevation.

**7322 Rebecca Drive** **Contributing**

House Unit #5CS was constructed in 1954.

**7325 Rebecca Drive** **Contributing**

House Unit Custom was constructed in 1952. In 1963 an addition on the East elevation was added and designed by Casper Neer. In 1968 an addition was added on the East elevation.

**7326 Rebecca Drive** **Contributing**

House Unit Custom #2B42LB was constructed in 1961.

**7400 Rebecca Drive** **Contributing**

House Unit #2B42LB was constructed in 1954.

**7401 Rebecca Drive** **Contributing**

House Unit #5CS was constructed in 1955.

**7404 Rebecca Drive** **Non-Contributing**

House Unit Custom was constructed in 1968. In 1990 an addition was added on the Southwest elevation. The dwelling was designed by Rick Ekstrom. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

**7405 Rebecca Drive** **Non-Contributing**

House Unit Custom was constructed in 1973. The dwelling was designed by Tom Kerns. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

**7407 Rebecca Drive** **Non-Contributing**

House Unit Custom was constructed in 1988. In 2013 a one-story addition was added on the Northwest elevation. This structure was determined non-contributing to the National Register Historic District and remains non-contributing to the HOD.

**7408 Rebecca Drive** **Contributing**

House Unit Custom was constructed in 1961.

**7409 Rebecca Drive** **Contributing**

House Unit #2B42LB was constructed in 1956.

**7411 Rebecca Drive** **Contributing**

House Unit Custom was constructed in 1958. In 1982 an addition was added on the East elevation.

**7412 Rebecca Drive** **Contributing**

House Unit #2B42LB was constructed in 1964. In 1975 an addition was added on the Southeast elevation.

**7413 Rebecca Drive** **Contributing**

House Unit #8 was constructed in 1959.

**7414 Rebecca Drive** **Contributing**

House Unit Custom was constructed in 1961. In 1985 an addition was added on the Northeast elevation.

**7415 Rebecca Drive** **Contributing**  
House Unit #5CS was constructed in 1970.

**7416 Rebecca Drive** **Contributing**  
House Unit #5CS was constructed in 1961.

**7417 Rebecca Drive** **Contributing**  
House Unit 2B42LB or #8 variation was constructed in 1958.

**7418 Rebecca Drive** **Contributing**  
House Unit Custom was constructed in 1961.

**7419 Rebecca Drive** **Non-Contributing**  
House Unit Custom was constructed in 1996.

**7421 Rebecca Drive** **Contributing**  
House Unit #7L was constructed in 1965.

**7423 Rebecca Drive** **Contributing**  
House Unit #2B42LB was constructed in 1964.

**7424 Rebecca Drive** **Non-Contributing**  
House Unit Main Line or Custom Line was constructed in 1965. In 1969 an addition was added on the South elevation. In 1976 an addition was added on the East elevation and another on the North elevation. This structure was determined contributing to the National Register Historic District and was determined to be non-contributing by staff to the HOD.

**7427 Rebecca Drive** **Contributing**  
House Unit #57, the Award Special, was constructed in 1965. There was no cupola on the dwelling.

## Recard Lane

**7401 Recard Lane** **Contributing**  
House Unit #2 was constructed in 1952. In 1970 a one-story addition was added on the North elevation.

**7403 Recard Lane** **Contributing**  
House Unit #2 was constructed in 1952. In 1957 an addition was added on the Southwest elevation. In 1987 a tower addition was added on the Southeast elevation.

**7405 Recard Lane** **Contributing**  
House Unit #2 was constructed in 1952. In 1958 an addition was designed by Casper Neer and added on the West and South elevation.

**7406 Recard Lane** **Contributing**  
House Unit #2 was constructed in 1953. In 1993 a one-story addition was added on the South elevation and another on the West elevation. In 2006 a carport addition designed by Eason Cross was added on the West elevation.

**7407 Recard Lane** **Contributing**  
House Unit #2B42LB was constructed in 1952. In 1967 a one-story addition was added on the Northeast elevation. In 1991 a one-story addition and carport was added on Northwest elevation.

**7408 Recard Lane** **Contributing**  
House Unit #3 was constructed in 1953. In 1971 an addition was added on the Southeast elevation. In 2002 an addition was added on the Northwest elevation. In 2017 an addition was added on the Northwest elevation.

**7409 Recard Lane** **Contributing**  
House Unit #4 was constructed in 1953. In 1974 an addition was added on the Southeast elevation.

**7410 Recard Lane** **Contributing**  
House Unit #3 was constructed in 1953. In 1999 an addition was added on the Southwest elevation. In 2015 an addition was added on the Southeast elevation.

**7411 Recard Lane** **Contributing**  
House Unit Custom was constructed in 1962. In 1962 an addition designed by Eason Cross was added on the West and South elevation.

## Rippon Road

**7300 Rippon Road** **Contributing**

House Unit #1 variation was constructed in 1949. In 1974 an addition was added on the East elevation. In 2003 an addition was added on the South elevation.

**7302 Rippon Road** **Contributing**

House Unit #1B was constructed in 1950.

**7304 Rippon Road** **Contributing**

House Unit #1B was constructed in 1950.

**7306 Rippon Road** **Contributing**

House Unit #1B was constructed in 1949.

**7308 Rippon Road** **Contributing**

House Unit #1BE was constructed in 1950. In 1951 an addition was added Southwest elevation.

**7310 Rippon Road** **Contributing**

House Unit #1B was constructed in 1949.

**7312 Rippon Road** **Contributing**

House Unit #1B was constructed in 1949. In 1967 an addition was added on the West elevation. In 1979 an addition designed by Joanne Goldfarb was added on the North elevation.

**7314 Rippon Road** **Contributing**

House Unit #1B was constructed in 1949. In 1969 a two-story addition was added on the Southeast elevation. In 1977 an addition was added on the Northeast elevation.

**7316 Rippon Road** **Contributing**

House Unit #1B was constructed in 1949. In 1971 an addition was added on the Southwest elevation. In 1999 an addition was added on the Southeast elevation.

**7318 Rippon Road** **Contributing**

House Unit #1B was constructed in 1950. In 1954 an addition was added on the South elevation.

**Saville Court****7420 Saville Court** **Contributing**

House Unit #8 variation was constructed in 1968.

**7421 Saville Court** **Contributing**

House Unit #6 was constructed in 1965.

**7422 Saville Court** **Contributing**

House Unit Atrium was constructed in 1966. In 1979 an addition has been added on the West elevation. In 1980 the atrium was enclosed. There was a small side addition to the dwelling.

**7423 Saville Court** **Contributing**

House Unit Decca was constructed in 1968.

**Sherwood Hall Lane****2310 Sherwood Hall Lane** **Contributing**

House Unit #2B42LB was constructed in 1963. In 1986 there was an addition to the dwelling.

**2400 Sherwood Hall Lane** **Contributing**

House Unit Main Line or Custom Line was constructed in 1958. In 2000 there was an addition off the kitchen of the dwelling.

**Stafford Road****7216 Stafford Road** **Contributing**

House Unit #2 was constructed in 1950. In 1953 an addition was added on the East elevation. In 1968 an addition was added on the South elevation.

**7217 Stafford Road** **Contributing**

House Unit #2 was constructed in 1950. In 1981 an addition was added on the East elevation. In 1988 an addition was added on the West elevation. In 2015 a carport addition was added on the North elevation.



**7218 Stafford Road** **Contributing**

House Unit #2 was constructed in 1950. In 1963 an addition was added on the Northwest elevation. In 1968 an addition was added on the Southwest elevation. In 1995 a one-story addition was added on the Southeast elevation. In 1997 an addition was added on the Southwest elevation.

**7219 Stafford Road** **Non-Contributing**

House Unit #2 was constructed in 1950. In 1983 an addition was added on the Northeast elevation.

**7221 Stafford Road** **Contributing**

House Unit #2 was constructed in 1950. In 1959 an addition was added on the Northeast elevation. In 2017 a porch was enclosed on the Northwest elevation.

**7223 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. In 1959 a porch was enclosed on the East elevation. In 1961 an addition was added on the South elevation. In 1970 a one-story addition was added on the West elevation.

**7301 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. In 1959 an addition was added on East, West, and South elevation.

**7303 Stafford Road** **Non-Contributing**

House Unit #2 was constructed in 1952. In 1953 an addition was added on the East and West elevation. In 1976 an addition was added on the West elevation.

**7304 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. In 1956 an addition was added on the North elevation. In 1998 an addition was added on the North elevation.

**7305 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. In 1988 an addition was added on the North and West elevation. In 2008 an addition was added on the North elevation.

**7306 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. In 1961 a fallout shelter was constructed. In 1985 an addition was added on the West elevation. In 1989 an addition was added on the East and South elevations.

**7307 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. In 1959 an addition was added on the North and West elevation. In 1968 an addition was added on the South elevation.

**7308 Stafford Road** **Non-Contributing**

House Unit #2 was constructed in 1951. In 1981 an addition was added on the East elevation. In 1985 an addition was added on the North elevation.

**7309 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. In 1953 an addition was added on the West and South elevation. In 1957 an addition was added on the North elevation. In 1986 an addition was added on the West elevation.

**7310 Stafford Road** **Non-contributing**

House Unit #2 was constructed in 1950. In 1970 an addition was added on the East elevation. In 1970 an addition was added on the North elevation.

**7311 Stafford Road** **Contributing**

House Unit #2B42LB was constructed in 1952.

**7312 Stafford Road** **Contributing**

House Unit #2 was constructed in 1952. There was an addition to the dwelling.

**7313 Stafford Road** **Contributing**

House Unit #2B42LB was constructed in 1953. In 1961 an addition was added on the North elevation.

**7314 Stafford Road** **Non-Contributing**

House Unit #2 was constructed in 1951. In 1974 an addition was added on the North elevation. In 1987 an addition was added on the North and East elevation. In 1990 an addition was added on the West elevation. In 2000 a one-story addition designed by Eason Cross Jr. was added.

**7315 Stafford Road** **Contributing**

House Unit #4 was constructed in 1952.

**7316 Stafford Road** **Contributing**

House Unit #1B was constructed in 1950.

**7317 Stafford Road** **Contributing**

House Unit #4 was constructed in 1952. In 1957 an addition was added on the Northeast elevation.

**7319 Stafford Road** **Contributing**

House Unit #4 was constructed in 1952.

## White Oaks Drive

### **2110 White Oaks Drive** **Contributing**

House Unit Custom was constructed in 1967. In 1988 a one-story addition was added on the Northeast elevation and another one-story addition was added on the Southeast elevation.

### **2111 White Oaks Drive** **Contributing**

House Unit Decca or #2B42 was constructed in 1967. In 1995 a carport addition was added on the North elevation.

### **2112 White Oaks Drive** **Contributing**

House Unit #6 was constructed in 1968.

### **2113 White Oaks Drive** **Contributing**

House Unit Decca or #2B42 was constructed in 1967.

### **2114 White Oaks Drive** **Contributing**

House Unit #5CS was constructed in 1968.

### **2115 White Oaks Drive** **Contributing**

House Unit Decca was constructed in 1967.

### **2116 White Oaks Drive** **Contributing**

House Unit Decca or #2B42LB was constructed in 1967. In 2000 a one-story addition, designed by Eason Cross was added on the North elevation.

### **2201 White Oaks Drive** **Contributing**

House Unit Decca or #2B42LB was constructed in 1967. In 2016 a two-story addition was added on the North elevation.

### **2202 White Oaks Drive** **Contributing**

House Unit Atrium was constructed in 1968. In 1975 a carport addition was added on the West elevation.

### **2203 White Oaks Drive** **Contributing**

House Unit #2B42 was constructed in 1966. In 1992 an addition was added on the North elevation.

### **2205 White Oaks Drive** **Contributing**

House Unit #2B42LB was constructed in 1966. In 2008 a one-story addition was added on the South elevation.

### **2207 White Oaks Drive** **Contributing**

House Unit Custom Line was constructed in 1965.

### **2209 White Oaks Drive** **Contributing**

House Unit #2B42LB was constructed in 1965.

### **2210 White Oaks Drive** **Contributing**

House Unit Decca or #2B42LB was constructed in 1966. In 1974 an addition was added on the South elevation.

### **2211 White Oaks Drive** **Contributing**

House Unit #2B42LB was constructed in 1965.

### **2212 White Oaks Drive** **Contributing**

House Unit #5CS was constructed in 1965.

### **2213 White Oaks Drive** **Contributing**

House Unit Decca or #2B42LB was constructed in 1966. In 1973 an addition was added on the North elevation.

## Additional Properties

### **White Oaks Park** **Non-Contributing**

Owned by Fairfax County Park Authority, passive recreation, 7100 Devonshire Road

### **White Oaks Park** **Non-Contributing**

Owned by Fairfax County Park Authority, passive recreation, 2241 Rollins Drive

### **White Oaks Park** **Non-Contributing**

Owned by Fairfax County Park Authority, passive recreation, 2237 Rollins Drive

### **Paul Springs Stream Valley Park (North)(address/parcels A,)** **Contributing**

Owned by Fairfax County Park Authority, passive recreation, SE of NR boundary (W of Fort Hunt Road)

### **Paul Springs Stream Valley Park (North)(address/parcels A1,)** **Contributing**

Owned by Fairfax County Park Authority, passive recreation, SE of NR boundary (W of Fort Hunt Road)

### **Paul Springs Stream Valley Park (North)(address/parcels B,)** **Contributing**

Owned by Fairfax County Park Authority, passive recreation, SE of NR boundary (W of Fort Hunt Road)

### **Paul Springs Stream Valley Park (North)(address/parcels 1A,)** **Contributing**

Owned by Fairfax County Park Authority, passive recreation, SE of NR boundary (W of Fort Hunt Road)

### **Paul Springs Stream Valley Park (North)(address/parcels 29)** **Contributing**

Owned by Fairfax County Park Authority, passive recreation, SE of NR boundary (W of Fort Hunt Road)

### **Paul Springs Stream Valley Park (South)(address/parcels A)** **Non-Contributing**

Owned by Fairfax County Park Authority, passive recreation, SE of NR boundary (W of Fort Hunt Road)

### **Paul Springs Stream Valley Park (address/parcels C)** **Non-Contributing**

Owned by Fairfax County Park Authority, passive recreation, West of Davenport Road

### **Hollin Meadows Park (address/parcels C)**

### **Non-Contributing**

Forested parkland owned by the Fairfax County Park Authority, 7603 Elba Road

### **Hollin Meadows Park (address/lot 82A)** **Non-Contributing**

Forested parkland owned by the Fairfax County Park Authority, 7603 Elba Road

### **Vacant Property (add lot 30 number)** **Non-Contributing**

Vacant, owned by Fairfax County 1801 Paul Spring Road

### **Vacant Property- Basketball Hoop and Half Court (add tm number)** **Non-Contributing**

Former Pump Station property, owned by Fairfax County, East of Rippon Road



## APPENDIX D – PREVENTATIVE AND CYCLICAL MAINTENANCE CHECKLIST

Maintenance is the repair and upkeep of materials in place to ensure their longevity. Like most construction that dates to the mid-twentieth century, homes in Hollin Hills require upkeep to remain in good condition. The construction techniques, materials, and systems used in these homes were modern at the time, but in some cases have not stood the test of time. Mass-produced, pre-fabricated materials were selected by Goodman and Davenport because of their economical nature - not their longevity. Maintenance challenges can arise due to flat roofs and brick chimneys prone to leaks; foundations that lack crawl spaces; and building envelopes that are poorly insulated. Homes with overhangs have generally fared better than homes without overhangs, which lack any protection from the elements and experience rot at a faster pace. Original single-pane windows present condensation issues, which in turn can lead to peeling paint, wood rot, and mold. Well-meaning efforts such as power-washing windows or using harsh chemical cleaners on exterior surfaces can often worsen conditions.

Some houses will require the addition of retaining walls or foundation repair due to the marine clay soil and hilly topography of Hollin Hills. Some features of a building, such as the roof, will need to be replaced every thirty years or so. In general though, property owners typically find that maintaining the overall physical condition of the building, and conducting repairs as necessary, is generally easier and less expensive than replacing features or systems altogether. Ideally, maintenance issues are addressed promptly to halt deterioration and prolong the lifespan of original materials. Complete preventative maintenance checks should be performed at least once a year. It is a good idea to keep documentation of yearly maintenance for present and future property owners.

The following maintenance checklist is adapted from NPS *Preservation Brief 47: Maintaining the Exterior of Small and Medium Size Historic Buildings*, which can be found here: <https://www.nps.gov/tps/how-to-preserve/briefs/47-maintaining-exteriors.htm>. The NPS website offers guidance on many specific materials that may help. Links to these materials can be found in Appendix B.

## Foundations

*Maintenance Objective:* To identify potential structural deficiencies and to prevent moisture from entering foundations and crawl spaces and damaging materials close to the grade, and to provide ventilation in damp areas.

*Inspection Frequency:* Annually; in conjunction with inspection of gutters and downspouts to ensure proper drainage around the building perimeter.

*Common conditions to look for:*

- Depressions or grade sloping toward the foundation resulting in standing water against the foundation
- Material deterioration at or near the foundation, including loss of mortar in masonry, rotting wood clapboards, or settlement cracks in the lower sections of wall
- Evidence of animal or pest infestation
- Vegetation growing close to the foundation that may cause damage, including trees, shrubs and planting beds
- Evidence of moisture damage, moss or mold from damp conditions or poorly situated downspout splash blocks
- Blocked downspout drainage boots or clogged areaway grates

*Recommended Maintenance and Repairs:*

- Remove leaves and other debris from drains to prevent accumulation
- Conduct annual termite inspections
- Keep the grade around the foundation sloping away from the building. Add soil to fill depressions particularly around downspouts and splash blocks. A 6" separation between wooden siding and the grade is usually recommended
- Reset splash blocks at the end of downspouts or add extender tubes to the end of downspouts as necessary
- Inspect, paint, and re-secure foundation vent grills as needed
- Wash off discoloration on foundations caused by splash-back, algae, or mildew
- Selectively repoint brick or other unit masonry as needed
- Avoid using salts for de-icing and fertilizers with a high acid or petro-chemical content around foundations as they can damage masonry

## Walls and Exterior Cladding

*Maintenance Objective:* to keep walls in good condition and to prevent water infiltration, insect infestation, and deterioration.

*Inspection Frequency:* Annually; Spring during dry and wet weather; after a major storm.

*Common conditions to look for:*

- Misaligned surfaces (leaning bowing, or bulging wall sections), cracks in brick or other masonry units and masonry joints, and open joints
- Cracked, loose, rotted or split wood siding and nail popping
- Exterior stains or evidence of wood rot, insect infestation, and potentially damaging vegetative growth
- Deterioration and deficiencies (such as rust, rot, or insect damage) around wall attachments such as lamps, signs, water spigots, electrical outlets, and vents
- Excessive damp spots, often accompanied by staining, peeling paint, moss, or mold
- General paint problems such as peeling, cracking, blistering, or chalking paint

*Recommended Maintenance and Repairs:*

- Repaint existing painted wood surfaces every 5-10 years, or as needed. Paint previously painted masonry surfaces approximately every 10 years
- Repair and repoint open masonry joints
- Trim branches away from walls and remove vegetative growth such as ivy and other climbing plants from wall surfaces
- Wash exterior wall surfaces using the gentlest means possible if dirt or other deposits are causing damage or hiding deterioration
- When patching, such as at an area of wood siding that has deteriorated, is required, select a compatible patch material. Where a damaged area is too large to patch, consider replacing the section with in-kind material
- Remove deteriorated caulks and sealants, clean, and reapply appropriate caulks and sealants following manufacturer's instructions regarding preparation and installation
- Correct deficiencies in any wall attachments such as awning and flag pole anchors, improperly installed electrical outlets, or loose water spigots



## Roofs, Roof Features, Chimneys, and Roof Materials

*Maintenance Objective:* To ensure the water flows off the roof and away from the building and to prevent water infiltration in the attic, exterior walls, or basement of a building.

*Inspection Frequency:* After a major storm and Spring or Fall; every 5 years by roofer; gutters and downspouts should be inspected from the ground during or after rainy weather and when winter ice has collected.

*Common conditions to look for:*

- Sagging gutters and split downspouts
- Debris accumulating in gutters and valleys
- Overhanging branches rubbing against the roof or gutters
- Plants or other biological growth growing out of chimneys
- Out of place, missing, cracked, bucking, delaminating, peeling, or broken roof coverings
- Deteriorated flashing and failing connections at any intersection of roof areas or of roof and adjacent wall
- Bubbled surfaces and moisture ponding on flat or low-sloped roofs
- Evidence of water leaks in the attic or at ceilings
- Misaligned or damaged elements, such as decorative cresting, lightning rods, or antennas
- Cracked masonry or dislodged chimney caps

*Recommended Maintenance and Repairs:*

- Regularly remove leaves and other debris from the roof (particularly around chimneys, equipment, or dormers), gutters, and downspouts
- Use garden hose to flush debris from gutters/downspouts
- Correct misaligned gutters and adjust, if necessary, so that water flows to drains away from the building and does not pond
- Use fiberglass and epoxy to fix holes in metal gutters or replace if severely deteriorated.
- Remove biological growth that may cause erosion of roof cladding. Where necessary and appropriate, trim adjacent tree branches to increase sunlight on the roof to prevent further biological growth
- Re-secure loose flashing at chimneys, parapets, or dormers
- Repoint deteriorated mortar joints on brick chimneys or brick walls with an appropriate mortar to prevent moisture penetration
- Repair broken, missing or damaged roof cladding to match the existing. Scrape and repaint areas of metal roofing as needed

## Porches and Decks

*Maintenance Objective:* To ensure that features have not become separated from the main structure and are in good repair.

*Inspection Frequency:* Annually.

*Common conditions to look for:*

- Damaged flashing or tie-in connections of projecting elements such as porches or decks
- Misaligned or damaged posts and railings
- Deteriorated finishes and materials, including peeling paint, cupped and warped decking, wood deterioration, and hazardous steps
- Evidence of termites, carpenter ants, or other pests
- Deteriorated seals around connections
- Rust and excessive wear of structural, anchorage, and safety features of balconies and/or fire escapes

*Recommended Maintenance and Repairs:*

- Selectively repair or replace damaged roofing on porches and other projections with roofs
- Repair flashing connections as needed; clean and seal open joints as appropriate
- Secure any loose connections, such as on porch railings
- Remove rust and corrosion from porch handrails, balconies, fire escapes, and other metal features; prepare, prime, and repaint using a corrosion-inhibitive coating system
- Keep porch decks and steps free from dust, dirt, leaf debris, and snow as soon as it accumulates using a broom or plastic blade shovel
- Repair areas of wood decay or other damage to railings, posts, and decorative elements. Repair with selective replacements, wood putty, or epoxy filler, as appropriate
- Prime and repaint features when necessary and repaint horizontal surfaces on a more frequent basis
- Sand and repaint porch floorboards to keep weather surfaces protected
- Carefully cut out damaged or buckled porch flooring and replace with wood to match
- Repair rotted stair stringers; adjust grade or add stone pavers at stair base to keep wooden elements from coming into direct contact with soil
- Clean out any debris from carpenter bees, ants, termites, and rodents, particularly from under porches. Replace damaged wood and add screening to discourage rodents. Consider treating above ground features with a borate solution to deter termites and wood rot and repaint exposed surfaces

## Windows, Window Features, and Glazing Materials

*Maintenance Objective:* To retain the functioning nature of existing openings and maintain the connection between the opening and the wall in order to reduce air and water infiltration.

*Inspection Frequency:* Annually; interior and exterior.

*Common conditions to look for:*

- Inoperable windows or doors
- Broken or cracked glass
- Loose frames, doors, sash, shutters, screens, etc. that may present safety hazards
- Damaged or out of place sills and/or thresholds
- Poorly fitting windows or doors, misaligned frames
- Lack of or deterioration of weatherstripping
- Loose, open, or decayed joints in door and window frames
- Loose hardware, locking difficulties, and deteriorated weatherstripping and flashing
- Peeling paint, corrosion or rust stains
- Accumulation of debris in window wells such as evidence of pests

*Recommended Maintenance and Repairs:*

- Repaint and recalk every 5-8 years, as necessary
- Replace broken or missing glass as soon as possible
- Re-putty window glazing where putty is deteriorated or missing
- Remove and clean hardware before painting doors and windows; reinstall after the paint has dried
- Tighten screws in doorframes and lubricate door hinges, awning hardware, garage door mechanisms, window sash chains (if present), and pulleys using a graphite or silicone type lubricant
- Check weather stripping on doors and windows and adjust or replace as necessary
- Adjust steel casement windows (if present) as needed for proper alignment and tight fit. Avoid additional weather stripping that may cause further misalignment
- Check window sills for proper drainage. Fill cracks in wood sills with a wood filler or epoxy following manufacturer's instructions
- Correct perimeter cracks around windows and doors to prevent water and air infiltration using appropriate sealants
- Remove debris beneath window air conditioning units and ensure that water from units does not drain onto sills or wall surfaces below. Removal of air conditioning units when not in season is recommended
- Adjust storm panels and clean weep holes; check that weep holes at the bottom of the panels are open so water will not be trapped on the sill









# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** January 31, 2020

**TO:** Laura Arseneau, Planner III  
Zoning Evaluation Division  
Department of Planning and Development

**FROM:** Catie Torgersen, Planner IV *CT*  
Stormwater Planning Division  
Department of Public Works and Environmental Services

**SUBJECT:** Stormwater Comments on Plan Amendment 2018-IV-MV4 Potential Hollin Hills Historic Overlay District

In response to the attached pre-staffing meeting invitation for the potential Hollin Hills Historic Overlay District (HOD), the Fairfax County Department of Public Works and Environmental Services Stormwater Planning Division (SWPD) provides the following general comments.

The Hollin Hills community was planned around unique building architecture and planned landscapes. Park areas were retained within stream valleys to provide common lands for passive recreation, nature appreciation, and to buffer individual lots with extensive green space. Since the community was created, plant species introduced as landscaping have become invasive, streams eroded due to excessive stormwater runoff, and deer browse has prevented native species from regenerating forest areas. Protection, enhancement and management of the streams and riparian areas in Hollin Hills are critical to the long-term viability of the natural setting that contributes to the community's historic significance.

Strategies to protect and restore the natural areas within the community parks and on private lots should include control of invasive plant species, planting of native species, restoration of streams and control of stormwater, and protection of native plantings from deer browse until they become robust enough to survive.

To help implement these strategies, SWPD has two stream restorations under design within the HOD. The stream restoration locations are shown on the attached map.

Attachments: As Stated

cc: Meghan Fellows, Project Manager, Watershed Projects Implementation Branch-Central,  
Stormwater Planning Division, Department of Public Works and Environmental Services

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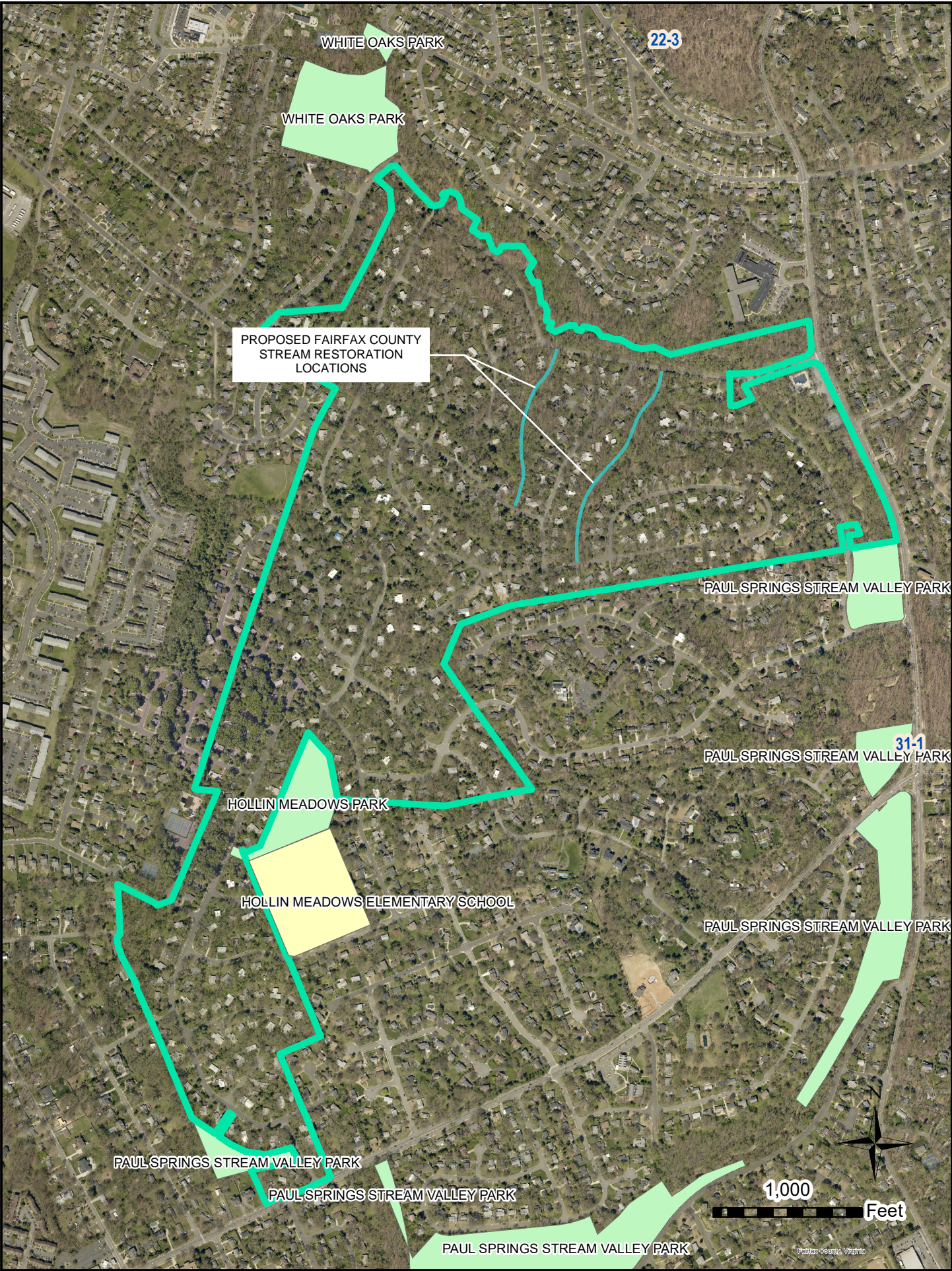
Department of Public Works and Environmental Services  
Stormwater Planning Division

12000 Government Center Parkway, Suite 449  
Fairfax, VA 22035-0052  
Phone: 703-324-5500, TTY 711, Fax: 703-802-5955  
[www.fairfaxcounty.gov/publicworks](http://www.fairfaxcounty.gov/publicworks)



*flw*





WHITE OAKS PARK

22-3

WHITE OAKS PARK

PROPOSED FAIRFAX COUNTY  
STREAM RESTORATION  
LOCATIONS

PAUL SPRINGS STREAM VALLEY PARK

31-1

PAUL SPRINGS STREAM VALLEY PARK

HOLLIN MEADOWS PARK

HOLLIN MEADOWS ELEMENTARY SCHOOL

PAUL SPRINGS STREAM VALLEY PARK

PAUL SPRINGS STREAM VALLEY PARK

PAUL SPRINGS STREAM VALLEY PARK

PAUL SPRINGS STREAM VALLEY PARK

1,000

Feet

Fairfax County, Virginia



Attachment 14 – Comments from the Fairfax Department of Transportation dated  
November 19, 2019



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** November 19, 2019

**TO:** Laura Arseneau, Planner III  
Heritage Resources and Plan Development Branch  
Department of Planning and Development, Planning Division (DPD-PD)

**FROM:** Zachary Krohmal, Transportation Planner II *ZK*  
Transportation Planning Section, STP, FCDOT

**SUBJECT:** Transportation Pre-Staffing Comments  
Plan Amendment (PA) No. 2018-IV-MV4  
Hollin Hills Potential Historic Overlay District (HOD)  
Mount Vernon Supervisor District

On July 31, 2018, the Board of Supervisors (BOS) authorized the consideration of a Plan Amendment for the Hollin Hills Subdivision in the Mount Vernon Planning District, MV-5 Groveton Community Planning Sector, Mount Vernon Supervisor District.

The BOS requested that staff evaluate the potential establishment of a Historic Overlay District (HOD) for Hollin Hills (see **Figure 1**) for potential boundary and access points, which includes:

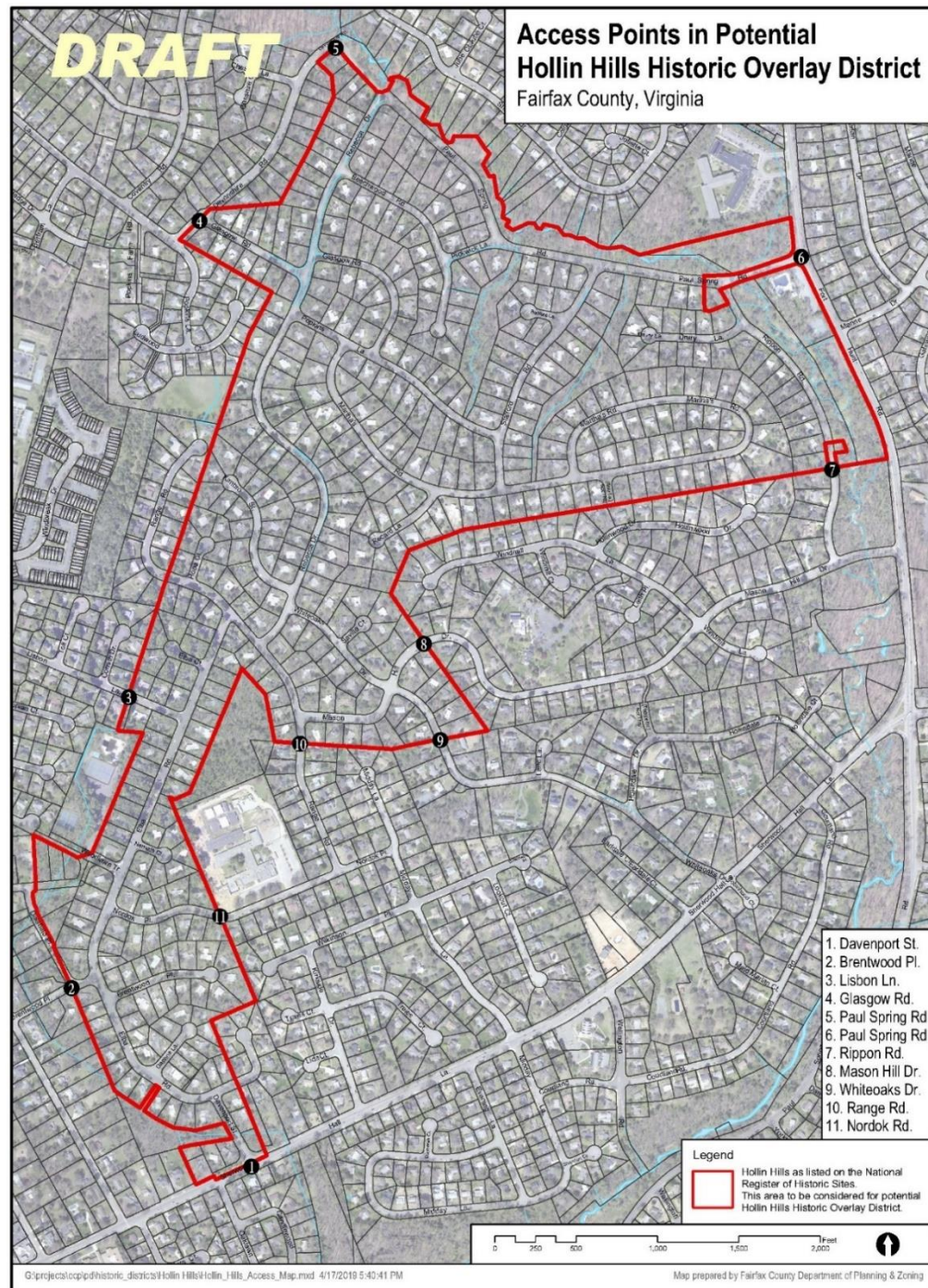
- Preparing a written report, as required by Par. 3 of Sect. 7-203 of the Zoning Ordinance, ensuring that the resultant report is coordinated with all appropriate Boards, Authorities, and Commissions.
- Initiating an amendment to the Zoning Ordinance to establish the Historic Overlay District, if recommended by the report. This Zoning Ordinance amendment should be added as a Priority 1 item to the Zoning Ordinance Amendment Work Program.
- Preparing an amendment to the Comprehensive Plan for any map and text changes that may result from this process.
- Initiating a Board's own rezoning to create the boundaries of the district, if such is recommended by the report.

For more information about the historic significance of this project and site, please see the National Register Nomination Form for Hollin Hills via the link, below:

<https://www.fairfaxcounty.gov/planning-development/sites/planning-development/files/assets/documents/compplanamend/hollinhillshod/nr-nomination-hollin-hills.pdf>

The subject area is currently developed with single family residential dwelling units. The adopted Plan for the subject property recommends 2/3 du/ac and is zoned R-2.





*Figure 1: Draft Map of Hollins Hills Area*

### **Existing Transportation Conditions**

The subject area fronts, to the east, on Fort Hunt Road (Route 629), a two-lane “Type B Minor Arterial,” per the Fairfax County Comprehensive Plan, with a 2018 Annual Average Daily Traffic (AADT) volume of 17,000, as well as to the south on Sherwood Hall Lane (Route 626), also a two-lane “Type B Minor Arterial,” with a 14,000 AADT. Richmond Highway (Route 1) is located more than ½ mile to the west. There are no rail transit stations near the subject area.

#### *Vehicular Access*

Vehicles can currently access the subject area using the following roads: Davenport Street; Brentwood Place; Lisbon Lane; Glasgow Road; Paul Spring Road; Rippon Road; Mason Hill Drive; Whiteoaks Drive; Range Road; and Nordok Road. All entrances are via stop-controlled intersections.

#### *Bicycle/Pedestrian*

There is a sub-standard asphalt shared use path along Fort Hunt Road, adjacent to the subject area, and an on-road bike lane on Sherwood Hall Lane, adjacent to the subject area. All roads within the subject area are local roads with posted speed limits of 25 miles per hour and AADT of less than 2,500 and should be bikeable. Some of these roads have sidewalks on one or both sides, while many do not have sidewalks on either side.

#### *Public Transportation*

Fairfax Connector Bus Routes 101 and 152 currently provide local bus service to and from the subject area. The 101 runs from Huntington Metrorail Station to George Washington’s Mount Vernon along Fort Hunt Road and the George Washington Memorial Parkway. The 152 also runs from Huntington Metrorail Station to George Washington’s Mount Vernon, but runs mostly on Fort Hunt Road, Sherwood Hall Lane, Richmond Highway, and Mount Vernon Memorial Highway. All bus stops near the subject area are unimproved, lacking a shelter, bench, and trashcan.

### **Transportation Plans**

Various transportation plans currently recommend transportation improvements and service enhancements near the site. These multimodal improvements and enhancements have been previously identified and included in applicable plans to meet future demand on the road, transit, bicycle, and pedestrian networks.

#### *Transportation Plan Map*

The Transportation Plan Map recommends improving Fort Hunt Road, while maintaining two lanes, from the George Washington Memorial Parkway to Richmond Highway. These improvements would likely include building curb and gutter, sidewalks and/or shared use paths, and possibly turn lanes.

*Countywide Trails Plan & Bicycle Master Plan*

The Countywide Trails Plan currently recommends a minor paved trail along Fort Hunt Road. Wherever the path does not exist, it would likely be constructed as a 10-foot shared use path, per VDOT standards. The Bicycle Master Plan currently recommends sharrows on the following roadways in or near the subject area: Boswell Avenue; Elba Road; Paul Spring Road; Whiteoaks Drive; Glasgow Road; Popkins Lane; Rebecca Drive; and Davenport Street.

*Transit Development Plan*

The Fairfax County Transit Development Plan (TDP) (FY16-FY22), a vision plan for the expansion and enhancement of Fairfax Connector and Metrobus service within the County, recommends that Fairfax County Department of Transportation (FCDOT) develop a summer schedule to accommodate higher seasonal ridership, driven by tourism, between Huntington Metrorail Station and George Washington's Mount Vernon. The summer schedule has not been implemented yet.

**Transportation Needs Assessment**

The Comprehensive Plan recommends safety improvements for Fort Hunt Road, as well as addition of a shared use path. These improvements are currently unfunded. A project to build these improvements could impact the Hollin Hills Potential Historic Overlay District, depending on where its boundary is designated.

*Trip Generation*

No changes to land use or intensity are proposed as part of this Plan Amendment, so there would be no impact to potential trip generation for the subject area.

**Conclusion**

There are no significant land use changes being proposed as part of this Plan Amendment and, therefore, negligible transportation impacts are anticipated. However, the Potential Historic Overlay District could create a burden on, or impediment to, future safety, transit, and bike/ped improvement projects on Fort Hunt Road and Sherwood Hall Lane, both Minor Arterials per the Comprehensive Plan. The existing and future rights-of-way for these significant area roadways should be excluded from the Potential Historic Overlay District, or text added to the Comprehensive Plan that recognizes the planned transportation improvements in the Historic Overlay District.

Please feel free to contact Zach Krohmal at (703) 877-5839 or via email at [Zachary.Krohmal@FairfaxCounty.gov](mailto:Zachary.Krohmal@FairfaxCounty.gov) should you have any questions.



Laura Arseneau

PA No. 2018-IV-MV4, Hollin Hills Potential Historic Overlay District (HOD)

November 19, 2019

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CC: Michael W. Garcia, AICP, Chief, FCDOT-TPS  
Thomas Burke, Senior Transportation Planner IV, FCDOT-TPS  
Robert Pikora, Transportation Planner III, FCDOT-TPS  
Jeff Hermann, AICP, Chief, FCDOT-SAS  
Leanna O'Donnell, Acting Director, Planning Division, Department of Planning & Development